

# THE STATION

## EXPRESSION OF INTEREST

The Station Tenancy and Development Options  
[33 James St, Yeppoon | Lot 2 SP230820]





# EXPRESSION OF INTEREST

## Closes: 5.00pm Friday 15 July 2022

**EXPRESSIONS OF INTEREST MUST BE RECEIVED  
NO LATER THAN THIS TIME AND DATE**

This Expression of Interest is published pursuant to Livingstone Shire Council resolution in accordance with Section 228 (5) of the Local Government Regulation 2012. Upon receipt of Expressions of Interest, Council may shortlist participants and invite tenders from such shortlisted persons.

This cover page and the following contents comprise the Expression of Interest for The Station Tenancy and Development Options.



# LOCATION





# THE STATION DEVELOPMENT OPPORTUNITY

Council is pleased to present a unique tenancy and development opportunity in the heart of idyllic Yeppoon.

The Council owned Station site is set to transform the heart of Yeppoon's town centre by providing the opportunity for tenants and developers to work with Council to deliver an outcome which activates this prime site to the benefit of the local community.

## KEY ADVANTAGES

- Available for immediate redevelopment
- Potential for a variety of land uses
- Locational
  - » walking distance to Yeppoon Foreshore
  - » across the road from a major shopping centre and soon to be completed cinemas
  - » a site landmark and feature in the newly refurbished historic railway station building
  - » significant James Street frontage and pedestrian links to the Capricorn Coast Pineapple Rail Trail
- Potential for a broad range of uses including:
  - » Retail [food and beverage, artisan products]
  - » Entertainment [function, facility, markets]
  - » High density residential
  - » Commercial [offices, incubation and co-working spaces]

Council has received funding to activate the area around the historic railway building as a community recovery space post-disaster events. During non-disaster events there are multiple options that could be co-located in the area. Commercial reuse opportunities for the Station need to complement the intended funding purpose and contribute to the activation of the western end of Yeppoon's main street.

## Councils objectives include development that:

- complies with the purpose of the grant;
- responds to the needs of the community;
- adds immediate value;
- supports the long-term growth of the town centre and the region in general;
- creates economic development opportunities through unique offerings, increasing local jobs;
- provides a revenue stream to Council for the duration of the leases;
- supports, leverages, or at least does not unduly constrain the potential for more intensive development of the site in the future

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# 1. Overview and Opportunity

## 1.1 Introduction

Livingstone Shire Council [‘the Vendor’] is seeking Requests for Expressions of Interest for a tenancy and/or development options for The Station site [‘the Property’] located in the Yeppoon Town Centre. This “Request for Expression of Interest” will be the first stage of a two-stage tender process. The expression of interest stage will result in a shortlist of operators who will be invited to provide further information as part of the tender. The land is owned by Council. Grant funding to activate the site has become available and subject to market interest, a tenancy or other development options may inform planned improvements to both the site and the historic railway building.

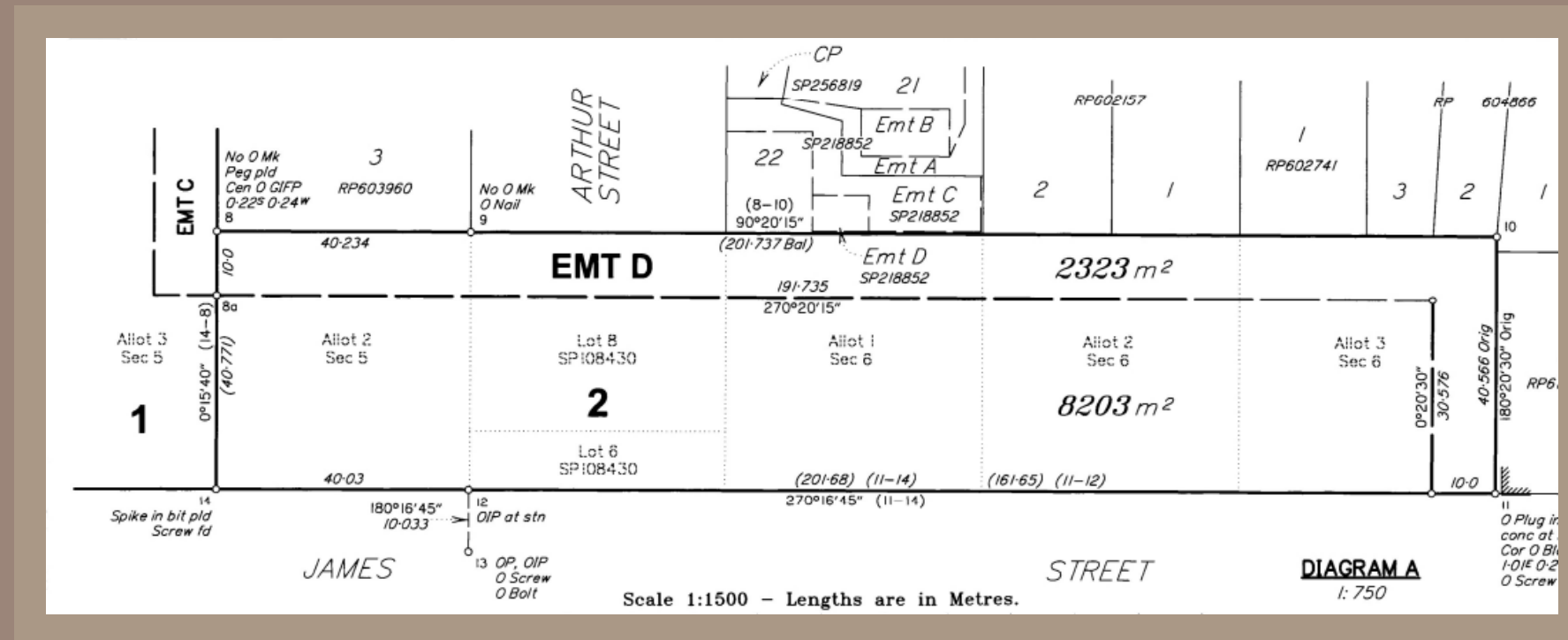




## 1.2 Site Description

The Station - 33 James Street, Yeppoon [Lot 2 on SP230820]

IMAGE 1 - SURVEY ON LOT PLAN



## 1.3 Grant funding for historic railway stations and surrounds

Livingstone Shire Council [Council] was successful in an application to the Commonwealth Government for funding through its Black Summer Bushfire Recovery Grants Program. Council's application was made on the basis that the funding could be used to activate the former Yeppoon Railway Station site [the Station] as a community recovery space, including construction of a large under cover meeting area/ central gathering and coordination space after disaster events.

The Station site is approximately 8,203 square metres and includes the historic railway building. Located in the central business district and directly opposite a major shopping centre, this site provides a central open space ideally suited to hosting community recovery events in an outdoor setting. In periods between disasters, it is intended that the area surrounding the Station building will be used in multiple community support avenues, such as a public market, entertainment and socialisation precinct facility to support community events, workshops and weekend events.

Specifically, activating the Station will involve:

- construction of a large outdoor undercover area;
- providing services [electrical, water and sewer] to the historic railway building;
- basic internal railway building fit-out [for example, ceiling, lighting and air-conditioning]
- site earthworks;
- landscaping;
- formalised public parking; and
- feasibility studies to facilitate activation of the site.



## 1.4 The Opportunity

The Vendor is seeking expressions of interest from parties interested in commercial reuse opportunities for the Station to complement the intended funding purpose and contribute to the activation of the western end of Yeppoon's main street. Opportunities may include:

1. occupancy of the former rail building; and/or
2. occupancy of the general surrounds of the rail building; and/or
3. occupancy of other portions of the site [majority of lot].

Note that 1 and 2 may be combined, depending on proposed uses.



## 1.5 Council Objectives

The Vendor envisages that this site is activated in a manner that:

- a. complies with the purpose of the grant;
- b. responds to the needs of the community;
- c. adds immediate value;
- d. supports the long-term growth of the town centre and the region in general;
- e. creates economic development opportunities through unique offerings, increasing local jobs;
- f. provides a revenue stream to Council for the duration of the leases;
- g. supports, leverages, or at least does not unduly constrain the potential for more intensive development of the site in the future; and
- h. complements, or at least does not conflict with the purpose of the grant funds employed to undertake the site improvements necessary to facilitate activation.

The ultimate future of the site will be determined in response to market conditions, community preferences and needs, contextual considerations and what will best support the positive evolution of the town centre and general Livingstone Shire community.

Council's ultimate objective for this site is to see it developed in a manner that supports the town centre's maturation into a more vibrant, attractive and distinctive precinct. There are multiple options for how this might be achieved. Whichever eventuates, Council's intent is that the development will make a positive contribution to the community without enduring cost obligations to Council and the community. Ideally, this development will provide a model to leverage complementary and innovative development by the private sector in other areas of the town centre.



## 1.6 Suitable Occupancies

Eligible uses are informed by the Planning Scheme and associated Council regulations. Refer to [Livingstone Shire Planning Scheme 2018 \[Version 3\]](#). The Major Centre zone outlines the preferred uses and overall outcomes sought for this area.

1. Suitable tenancies for the railway building might include;
  - a. food services such as a café, coffee shop;
  - b. bookstore;
  - c. activities such as paint and sip;
  - d. pop-up retail (seasonal or transitory); and/or
  - e. tenancies that may utilise the use of an outdoor undercover area during non-disaster events
2. Suitable temporary and low impact tenancies for the adjacent outdoor space might include;
  - a. overflow from the building interior use;
  - b. temporary activities such as pop-up food courts, events, markets and related/similar community-binding function; and/or
  - c. microbrewery and other artisan precinct focused tenancies.
3. Permanent uses such as urban style high density mixed income housing, optionally supported by ground floor retail or commercial. Council's preference in this regard is the provision of facilities needed by the community that will not otherwise be provided by the market. Such an example would be affordable housing contained within a mixed income financing structure.

**Caveat: proposed uses cannot in any way compromise use of the site for operations as an outdoor recovery space in the event of major disasters (as described above).**

Note that upon completion of grant funded site improvements, Council intends to consider proposals that utilise the outdoor recovery space for activation functions to address the stated grant purpose of bolstering community cohesion between disaster events.

Council wishes to secure income-generating tenancies to defray the costs of property maintenance and general demand on Council's budget and ideally to provide a positive contribution to Council revenues.

Provision of additional on-site amenities by proponents (such as landscaping and lighting) will be viewed favorably and may be considered while settling lease terms. Additional site improvements to support intended uses may be financed by Council in the future, depending on what the intended uses are and their value to the site and community.





# OPEN SPACES



# OUTDOOR COVERED AREAS



# POP UP ACTIVITIES



# MIXED USED RESIDENTIAL





## Lessee's Responsibilities

Subject to negotiation, the successful Lessee(s) will be responsible for:

- a. Obtaining all permits and registrations [with the exception of MCU approvals]; All tenancy utilities and consumables;
- b. Procurement and installation of Point of Sale system/s;
- c. Procurement and installation of operational items;
- d. Procurement and installation of fit out and furniture, as required;
- e. All tenancy cleaning;
- f. Maintaining minimum operating hours throughout the term of the lease. Hours of operation will be determined in negotiation with Council;
- g. Contribution to the cost of regular cleaning of common areas including toilets and toilet supplies;
- h. A proportion of certain services in the premises;
- i. Cost of tenancy signage as agreed by Council; and
- j. A director's guarantee and bank guarantee equivalent to three (3) months rental, to be held against satisfactory compliance with lease terms over the full term of the lease.

## 2. Site Overview

### 2.1 Station Building

Constructed in 1909 the Station building is a long gable-roofed chamfer board building with a corrugated galvanised iron roof and square 'fascia' gutters. On the street side of the building is a large eave overhang supported on timber posts by solid timber brackets, on the platform side there is a curved awning roof supported on timber posts with plain struts and concrete bases. The building is set on concrete stumps at the perimeter and steel posts and concrete footings under the main body of the building. The building consists timber VJ internal lining, timber floors, panelled doors and flush sliding door, and 4-panel colonial sash windows. A section on the eastern end is enclosed with battens to form a storage area.

Refer Appendix A - Station post-construction close out report.

Refer Appendix B - ArkLab Railway Station building plans.

Refer Appendix C - The Station - Images of Building and Surrounds.



## 2.2 Heritage Listing

Yeppoon Railway Station and platform is heritage listed and any development must comply with [State Development Assessment Provisions State Code 14: Queensland heritage](#). Council has inquired if a front deck could be added to the Station building and Queensland Heritage have indicated this is a possibility, dependent on sympathetic design to the building. At this stage it is impossible to determine if there will sufficient funds to undertake these improvements from the current funding allocation.

## 2.3 Site Contamination

The site is listed on the Department of Environment and Science Environmental Management Register for the notifiable activity of a Service Station and for hazardous contaminants from the site's previous rail use. Depending on the ultimate use of the site it is intended to use funding to remediate the site.

## 2.4 Stormwater and Flooding

Refer Appendix D - Flood overlay map at 1% AEP.

# 3. Proposal Evaluation

## 3.1 Evaluation Criteria

Evaluation Process In assessing each proposal, Council will use the following evaluation criteria.

EVALUATION CRITERIA	RATING %
[1] The respondent's ability to meet Council's objectives [refer Section 1.5 p.10];	40
[2] The respondent's ability to demonstrate previous industry experience;	10
[3] The respondent's preferred tenancy and/or land use;	20
[4] The respondent's tenancy/development forecast economic contribution;	20
[5] The respondent's preferred development timeframes	10

Council reserves the right to assess the merits of each proposal by considering any matter, fact or circumstance which Council may deem appropriate, in its absolute discretion. Council will not be bound to engage any respondent or review any proposal that does not conform within the requirements set out in this document.



The respondent acknowledges that Council is not bound to accept any proposal submitted in response to this Request for Expression of Interest and may terminate the Expression of Interest process at any time. The submission of a proposal does not give rise to any contract governing, or in any way concerning, the Expression of Interest process, or any aspect of the Expression of Interest process. Council expressly disclaims any intention to enter into such a contract.

Responses to this Request for Expression of Interest include an electronic copy of the following:

- a. A completed, signed and dated Expression of Interest form [Annexure B];
- b. The respondents proposed offering and associated specifics; and
- c. Any other supporting document that respondent feels is relevant to the EOI.

EOI submissions must remain open for acceptance to short listing for a period of not less than ninety (90) calendar days from the Closing Time. The Participant must state any longer period for which its EOI remains open.

## EXPRESSIONS OF INTEREST

All proposals must be clearly marked  
**‘EOI – THE STATION TENANCY AND DEVELOPMENT OPTIONS’**  
and emailed to [tenders@livingstone.qld.gov.au](mailto:tenders@livingstone.qld.gov.au)  
or lodged in person with Livingstone Shire Council Customer Service by  
**5pm, Friday 15 July 2022**  
at Yeppoon Town Hall, 25 Normanby Street Yeppoon QLD 4703.

It will be at Council’s discretion whether responses lodged after the closing time will be accepted. Council is not under any obligation to:

1. Provide a respondent with a further opportunity to respond to this Request of Expression of Interest; or
2. Allow a respondent to vary its proposal once that proposal has been lodged. A respondent will only possess the right to lodge a variation to its proposal, or lodge a supplementary proposal, where it has sought the approval of Council (which may be given or withheld at Council’s absolute discretion) in writing and the Council, in writing, has granted its consent to such a request.



## 3.2 EOI/Tendering Process Timeframe

The approximate process timeframe, provided as a guide only, is as follows:

STAGE	PROCESS TASK	APPROXIMATE DATE
1A	Expression of Interest Release Date:	24 June 2022
1A	Expression of Interest Closing Date:	15 July 2022
1B	Shortlisted Participants notified and may be invited to do a presentation on their proposed solution	29 July 2022
1C	Selective Tender invitation dispatched to shortlisted Participants	12 August 2022
1C	Selective Tender Closes (Submission of Binding Offers)	2 September 2022
1C	Finalisation of Evaluation of Tender offers	9 September 2022
1C	Recommended option reported to Council with preferred Tenderers for resolution to Award Tender or otherwise	20 September 2022
2A	Participants notified of out come of Tender	21 September 2022
2A	Contract Award	23 September 2022
2B	Works/Services to Commence	Date as agreed in offer

Timeframes provided in clause 3.2 are subject to variation by Council at any time during the EOI / Tendering Process and Council will not be liable for any costs associated with any changes to the timeframe. Council is open to considering delay to the commencement of works/services where the proponent requires additional time to establish operations, obtain licences etc.

## 3.3 General Information

### No Fettering

Nothing in this document shall fetter or restrict the power or discretion of Council to make or impose requirements or conditions in connection with any sale or use of the allotments or the granting of any planning or building approval.

### Compliance with Statutory Requirements

As required, any sales are subject to and conditional upon disposal of valuable non-current asset statutory obligations in accordance with the *Local Government Regulation 2012*.

### Confidentiality

While all Expressions of Interest will be treated as confidential between Council and the applicant, the legislative requirements of Right to Information Act 2009 must be recognised. No submission or part thereof will be disclosed to any other party without prior agreement. Prior to Council providing any information of a confidential nature to any applicant, that applicant will be required to enter into a confidentiality agreement which protects Council's interests.

### Canvassing

The respondent, their employees or consultants must not approach or request any other person to approach a Councillor, member of Council's staff or consultants engaged by Council to:

- Solicit support for their proposal; or
- Seek to influence the outcome of the Expression of Interest process.

### Further Information

For further information please contact [tenders@livingstone.qld.gov.au](mailto:tenders@livingstone.qld.gov.au) or 07 4913 5000.



## Disclaimer

This document is intended to provide prospective respondents with background information to this project. While every care has been taken in the preparation of the information contained in this document, and it is believed to be accurate, Council gives no warranty, expressed or implied, as to the accuracy or completeness of any information contained in this document or which may be provided in association with it, whether by written or oral communication, or whether provided on or before the date of this document or in the future by Council, its officers or agents in relation to this document or the allotment contained at The Station.

Neither Council nor any of its consultants accept any responsibility to any respondent or other third party under the law of contract, tort or otherwise for any loss or damage which may arise from anything contained in this document, any matter deemed to form part of this document, the supporting information or documents referred to in this document or any information supplied on behalf of Council. All information given to a respondent and ultimately the purchaser by Council or its respective officers or agents will be given on an 'all care and no responsibility' basis.

This document and attachments are not intended to be exhaustive or to replace the need for prospective respondents to make their own enquiries. It is incumbent on each organisation and ultimately the preferred proponent/s to make their own enquires, examinations, investigations, interpretations, deductions and conclusions and rely on their own information and verification of information provided. The information is provided on the basis that it is not binding on Council. By receiving delivery of this document, each organisation and ultimately the purchaser shall, without qualifications, be deemed to have acknowledged acceptance of and shall be bound by the provisions of this disclaimer.

Council reserves the right to not tenant the railway building or further develop the allotment and to decline to discuss the process further with any parties. No reimbursement of costs will be paid to persons or organisations preparing proposals in relation to this document. No unsuccessful respondent will be entitled to any redress against Council or in the event that Council permits any amendments or additions to any proposals or enters into any agreement in relation to the proposed leases with any other persons whether organisations/s or not. Land uses of the railway building and allotment are subject to Council and planning approvals. Foreign investors will be required to have regard to the Foreign Acquisitions and Takeovers Act 1975 (Commonwealth) and the policies concerning foreign investments in Australia of both the Federal and Queensland governments.

In preparing this Request for Expression of Interest the Vendor has not verified and makes no representation or warranty concerning the likelihood or extent of any impact, directly or indirectly attributable to any GST in relation to a potential sale of an allotment. Interested parties should make their own enquiries as to matters relating to the impact of GST and the costs, if any, associated with any GST. The Vendor is not liable for any loss, damage, claim, demand and expense of any kind whatsoever and however arising in connection with any GST. The tenancy of the railway building, and any future development will be transacted on commercial terms and Council recommends that applicants discuss their proposal with their financier prior to making an application. However, to encourage suitable development, Council may consider flexible and innovative structuring, or conditional contracts.

## **ANNEXURE B - Expression of Interest Application The State Tenancy and Development Options**

### **APPLICANT INFORMATION AND CURRENT OPERATION**

#### **1. Applicant Details**

Company name or full names of individuals:

Trading as:

ACN [if applicable]:

ABN [if applicable]:

Contact Details:

Name:

Phone Number:

Business Street Address:

Postal Address:

Email:

Website [if applicable]:

#### **2. Tenancy Business Definition**

What business activity is proposed to be carried out in the Station railway building?



### **3. Site Development Proposal**

What development is proposed to be carried out on the Station site?

### **4. Council Assistance**

What, if any, assistance will be required from Council?

### **5. Reason for Application**

e.g. new industry, expanding or relocating to larger premises

### **6. History and Track Record**

Provide a brief business background [e.g. dates, places, product descriptions etc]

**7. Additional Information**

Do you have any additional information that would assist your application?

Please detail any other economic benefits?

**8. Economic Contribution**

Expect to employ at total of \_\_\_\_\_ employees within \_\_\_\_\_ years

Do any of these include apprenticeships/trainees? Yes No If yes, how many annually?

Is your business an existing local business? If yes, provide details.

**9. If applicable include a Site Plan as attachment in EOI (sketch only)**

Enclose a site plan indicating the layout and dimensions of the proposed improvements and timings of each stage.

Is the Site Plan attached?



## 10. Financial/in-kind contribution

If known, provide any type of anticipated financial/in-kind contribution to the project being proposed.

## 11. Submission

Submit your submission via email to [tenders@livingstone.qld.gov.au](mailto:tenders@livingstone.qld.gov.au)

## Acknowledgement and Declaration

I/we acknowledge that by submitting this proposal, I/we accept and acknowledge that I/we are bound by the terms and conditions stated in the Request for Expression of Interest. I/we declare that I/we have no direct or indirect conflict of interest in participating in the development outlined in the Request for Expression of Interest.

Signature of Authorised Person:

Date:

Print Full Name:

Position:

## APPENDIX A Station Post-Construction Close Out Report

	201812 / MEMO 05
<b>YEPPOON RAILWAY STATION</b>	JAMES ST, YEPPOON
DATE: 17.09.2020	
TO: Genaea Keith EDQ	
CC: File	
RE: <b>CLOSE OUT REPORT – POST CONSTRUCTION</b>	

The following report has been prepared to describe the completed restoration works for Yeppoon Station Building documented by arkLAB Architecture and carried out by Landbrook Building and Construction. This report captures the restorations works done to date and presents an informative reference document for future works on this listed Heritage Place of Significance. This document is a summary of the completed works only: for a full description and details refer to drawings, specifications, reports and approvals listed in the appendix.

### 1.0 Site

Yeppoon Station Building is located within the CBD of the town, approximately 1km from the ocean front and bounded by James and Braithwaite streets as well as countless commercial buildings. The building is centrally located on the 2.4 hectare site, oriented with the station platform to the north and the offices, parcels and amenities housed in the main body of the long skinny building to the south (fronting James street).

**Property Description:** Lot 3, SP254313

**Address:** James Street Yeppoon, QLD, 4703

**Local Governing Agency:** Livingstone Shire Council

**Status Queensland Heritage Register:** ID 602563

### 2.0 Building Description

**Constructed:** 1909

**Style/ Type:** A long gable-roofed chamfer board building with a corrugated galvanised iron roof, square 'fascia' gutters. On the street side of the building is a large eave overhang supported on timber posts by solid timber brackets, on the platform side there is a curved awning roof supported on timber posts with plain struts and concrete bases. The building is set on concrete stumps at the perimeter and steel posts and concrete footings under the main body of the building. The building consists timber VJ internal lining, timber floors, panelled doors and flush sliding door, and 4-panel colonial sash windows. A section on the eastern end is enclosed with battens to form a storage area for a forklift.

**Environment:** Free standing building on large vacant parcel of land.

**Orientation:** North east, as indicated on plans.



### 3.0 Restoration Works

Landbrook Building and Construction was appointed the principal contractor by the Department of State Development, Tourism and Innovation. Construction commenced in January 2020 and reached Practical Completion in September 2020.

#### 3.1 Restoration of Building Foundations:

##### Original Condition:

The buildings' concrete and steel foundations were compromised with damaged concrete footings, severely corroded steel posts and brackets, and deformed timber bearers and joists due to failure of the foundation structure.

##### Restoration:

- Removal of damaged and deteriorated concrete footings, steel posts and brackets
- Replaced steel posts and footings including connections to bearer
- Repaired concrete footings with high strength mortar where reinforcing has been exposed, break out to unaffected reinforcing and treat or replace.
- All works carried out in accordance with engineers details and relevant approvals.

#### 3.2 Restoration of Roofing and Walling:

##### Original Condition:

Roofing including all rain water goods were compromised and failing. Roof sheeting, flashings and cappings were partially missing and exhibited severe rust and disintegrating paint, with some areas beyond repair. The wall structure, main roof and platform awning structures were deemed inadequate by Dileigh and requires upgrade to meet current Australian Standard.

**Type:** Pitched Roof / Curved Awning

**Pitch/ Grade:** 33.5° / Radius 3.42m (C.O.S)

**Area:** 182sqm / 147sqm (C.O.S)

**Perimeter:** 83.5 linear metres (C.O.S)

**Material:** Metal

**Profile:** Corrugated Iron.

##### Restoration:

- Removal of existing roof coverings including gutters (eaves and box gutter), flashing, downpipes and all associated rain water goods.
- Removal of damaged timber fascia boards, box gutter and sub structure. Intact portions of fascia boards were retained and reinstated in accordance with DES Heritage Exemption Certificate.
- New roof sheeting and rainwater goods were installed in accordance with DES Heritage Exemption Certificate, including installation of thermal insulation to underside of roof (above the building only).
- Additional structures for both main roof and platform awning were put in place in accordance with Deleigh's structural drawings and specifications. All new elements have been date stamped.
- Additional wall structure were put in place in accordance with Deleigh's structural drawings and specifications. All new elements have been date stamped.

#### 3.3 New storm water reticulation

##### Original Condition:

Existing rainwater goods discharge illegally to the ground. Historical photos indicated the roof drainage at the eastern end of the building discharged into a water tank. The water tank was removed and the tank stand is in disrepair and structurally inadequate to support a filled water tank. The box gutter outlet at the eastern end of the building was rusted and the outlet disconnected.

##### Restoration:

- Downpipes disconnected at eastern end of building.
- Existing hydraulic infrastructure disconnected and services capped off.
- Rainwater tank stand removed.
- Downpipes reconnected to comply with AS3500.3 plumbing & drainage requirements.

- Downpipe discharge outlet reticulated under floor to existing storm water discharge point in accordance with engineer's details.

### 3.4 Restoration of platform timber posts and footings

#### Original Condition:

The concrete footing/ timber post junctions were failing and disintegrated from the timber posts. Timber posts were exposed exhibits rot and was a potential structural failure.

#### Restoration:

- Damaged timbers posts partially removed and reconnected in accordance to architectural and structural drawings.
- New concrete footings installed in accordance with structural drawings.

### 3.5 Restoration of timber wall cladding

#### Original Condition

Timber wall cladding was compromised in numerous locations due to vandalism, weather and general decay over time, causing water ingress issues to the building envelope.

#### Restoration:

- Damaged portions of the cladding removed.
- Water proofing breaches rectified.
- New timber siding installed to match existing size and profile and painted to match existing. All new elements have been date stamped.

### 3.6 Restoration of metal cladding to awning structure

#### Original Condition:

The vertical metal cladding to the awning was compromised in numerous locations due to weather and suffered from deteriorating paint.

#### Restoration:

- Compromised portions of the metal cladding was rectified in accordance with technical notes; Minor Repairs — Metal Work.
- The metal cladding was repainted in accordance with technical notes; Painting — Surface Preparation and Painting — Maintenance.

### 3.7 Restoration of rammed earth platform edge and retaining wall

#### Original Condition:

The timber edge capping of the platform suffered from deterioration and rot in numerous locations which risked the collapse of the rammed earth platforms. Concrete and timber walers along the platforms were also in poor deteriorated state.

#### Restoration:

- Damaged and deteriorated timber edge capping removed.
- Timber edge capping replaced Like-For-Like, painted and date stamped.
- Damaged beyond repair concrete walers replaced Like-For-Like and date stamped.
- Damaged beyond repair timber walers replaced Like-For-Like and date stamped.
- Rammed earth platform resintated in collapsed areas, additional gravel was put in place as required.

### 3.8 Painting of Internal and External walls

#### Original Condition:

External paint works were in poor condition with excessive deterioration in numerous areas. Internal paint works were in good condition. Graffiti vandalism were scattered throughout internal and external walls of the building and platform.



**Restoration:**

- Externally the building was repainted with approved new colour scheme in accordance with DES Heritage Exemption Certificate. Original paintworks were not removed and remains intact beneath the new paint.
- Internally the building was repainted with existing Like-For-Like colours in accordance with DES Heritage Exemption Certificate. Original paintworks were not removed and remains intact beneath the new paint.
- All graffiti were removed in accordance with heritage technical note 'painting – surface preparation' and 'Painting – maintenance'.

**3.9 Restoration of windows and doors****Original Condition:**

Timber framed windows and doors were in various states of disrepair due to aging and vandalism which compromised the weatherproofing of the building. Numerous windows were covered with plywood boarding with evidence of water ingress.

**Restoration:**

- Plywood boardings removed.
- All windows and doors were restored and refurbished in accordance with approved DES Heritage Exemption Certificate.
- Windows Ex4, Ex5 and Ex6 were replaced in accordance with approved DES Heritage Exemption Certificate.

**3.10 Restoration of Joinery Units****Original Condition:**

The joinery units were in good condition.

**Restoration:**

- ExJU2 was removed as it was deemed an Intrusive Element in accordance with the Fabric Assessment Report.
- ExJU1, ExJU3, ExJU4, ExJU5 and ExJU6 were restored in accordance with approved DES Heritage Exemption Certificate.

**3.11 Restoration of timber flooring****Original Condition:**

Exposed timber flooring in the Parcels room appeared to be uncoated shot-edge hardwood in sound original condition. The timber flooring within the Ticket & Freight & Waiting and Passage rooms were covered with vinyl flooring which was partially removed to uncover the timber flooring below for condition assessment. They appeared to be in sound condition similar to the Parcels room flooring.

**Restoration:**

- All existing vinyl covering were removed.
- Timber flooring restored in accordance with approved DES Heritage Exemption Certificate.



## 4.0 Appendicies

Please refer to the following documents for further details:

- Exemption Certificate **201809-7189 EC - 602563\_ExemptionCertificate - ConservationWorks+**
- ~~Exemption Certificate **201911-9689 EC - ExemptionCertificate - BuildingRepairs**~~
- Exemption Certificate **202001-9973 EC\_602563 Yeppoon Station Building\_Remedial Painting\_exemption certificate**
- Exemption Certificate **202003 10095\_EC\_QHR602563\_Yeppoon\_Station\_Building\_delete approval** (Supersedes 201911-9689 EC above)
- Exemption Certificate **202006-10443 EC QHD602563 Yeppoon Station Building\_exemption\_certificate**
- Exemption Certificate **202008-10536 EC QHR602563 Yeppoon Station Building\_exemption\_certificate**
- Architectural Drawings **201812\_Yeppoon Station Building\_E**
- Architectural Specificaiton **201812\_DSD\_YEP Spec\_T01**
- Engineers report **D19106-RP01(E) Condition Assessment Report.pdf**
- Conservation Management Plan **180731\_201812\_DSD\_YEP\_CMP Issue D**



# YEPPOON STATION BUILDING

for DEPARTMENT OF STATE DEVELOPMENT

3 JAMES STREET 4703 QLD

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REV.	DETAILS	INT	DATE
E	Close Out Report Issue	JW	16.09.2020
T01	FOR TENDER	LB	25.10.2019



3D VIEW (PLATFORM)

DRAWING LIST		
DRAWING NAME	REVISION	
0001	TITLE PAGE	E
1001	PROPOSED SITE PLAN	E
2001	SUBFLOOR & GROUND FLOOR - PROPOSED RESTORATION	E
2002	RCP & ROOF PLAN - PROPOSED RESTORATION	E
3001	ELEVATIONS	E
3002	ELEVATIONS	E
4000	FABRIC ASSESSMENT: SIGNIFICANT ELEMENTS REFERENCE PLAN	E
5001	DETAILS	E
6001	DOOR & WINDOW SCHEDULE	E
10000	SPECIFICATIONS	T01
10001	DOCUMENT REGISTER	C

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client  
**DEPARTMENT OF STATE DEVELOPMENT**

project  
**YEPPOON STATION BUILDING**  
3 JAMES STREET 4703 QLD

Figured dimensions take precedence over scale dimensions. Contractors must verify all dimensions on site before commencing any work or making shop drawings.

project number	drawn by	checked
201812	SA	AJ
drawing name		N
<b>TITLE PAGE</b>		

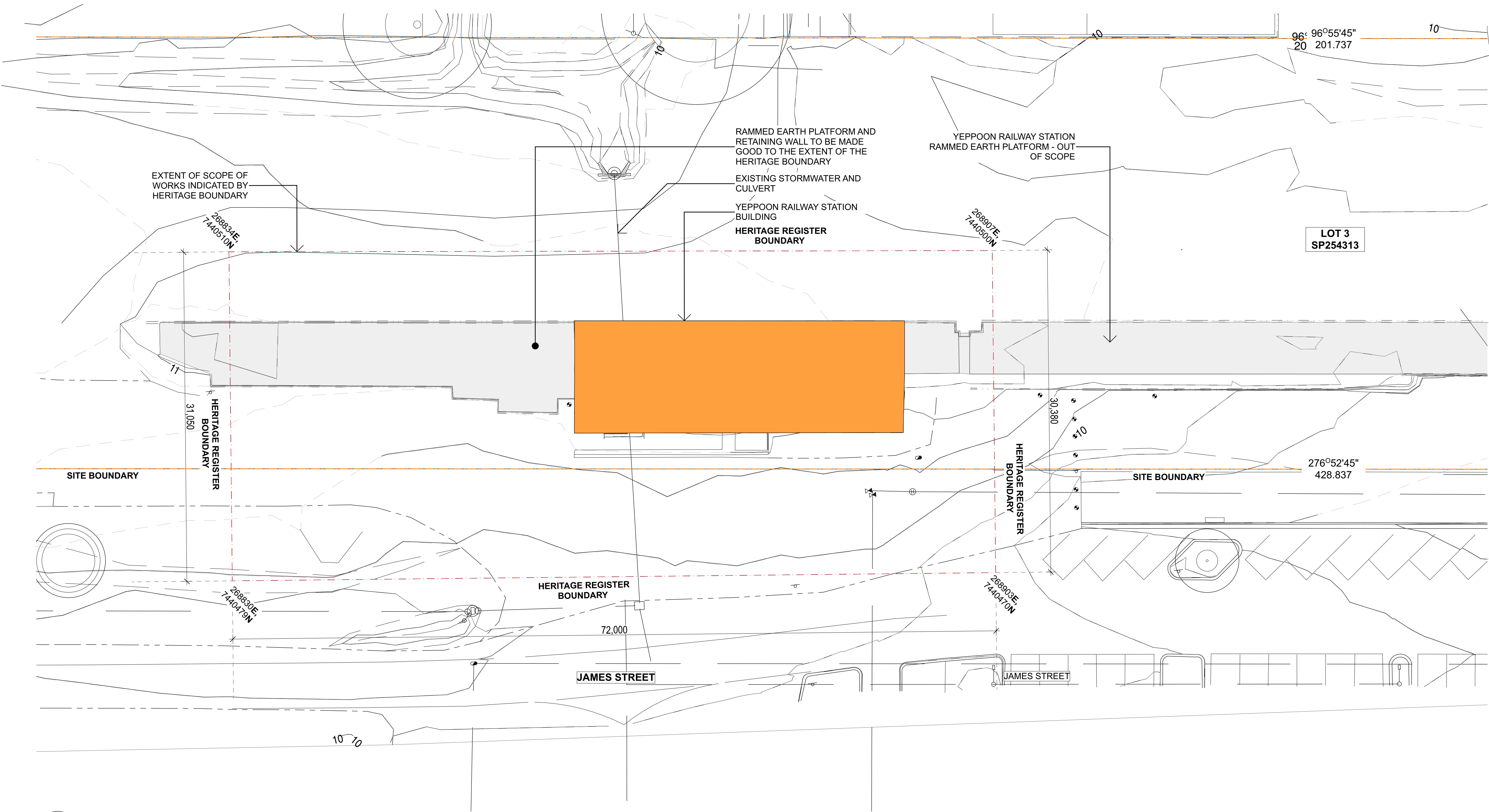
drawing number	scale	rev
<b>0001</b>	AS INDICATED	E
	@A1	



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REV.	DETAILS	INT	DATE
E	Close Out Report Issue	JW	16.09.2020
D	Heritage Feedback Revision- Internal Works	JW	25.06.2020
C	Heritage Exemption Review - Internal Works	RE	22.05.2020
T01	FOR TENDER	LB	25.10.2019

**SITE INFORMATION**  
 Real Property Description: LOT 3, SP254313



**1 Plan**  
**Proposed Site**  
 SCALE: 1:200

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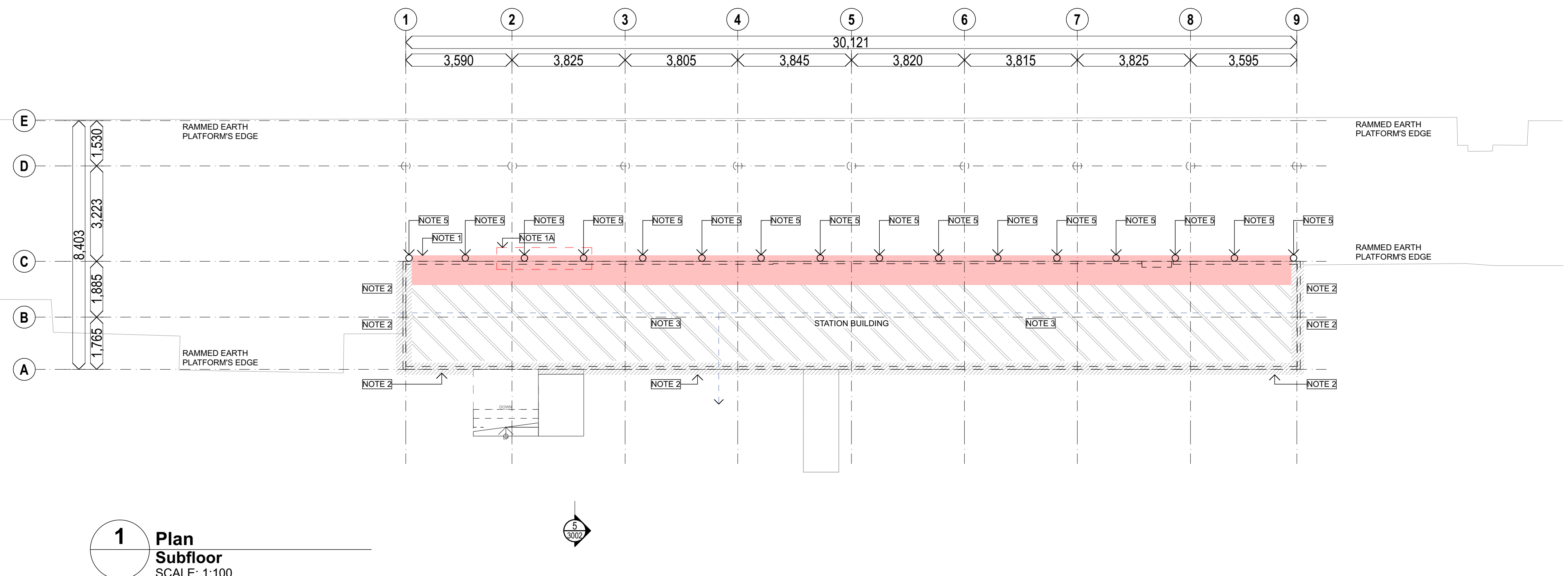
Figured dimensions take precedence over scale dimensions. Contractors must verify all dimensions on site before commencing any work or making shop drawings.

project number 201812 drawn by SA checked by AJ  
 drawing name PROPOSED SITE PLAN

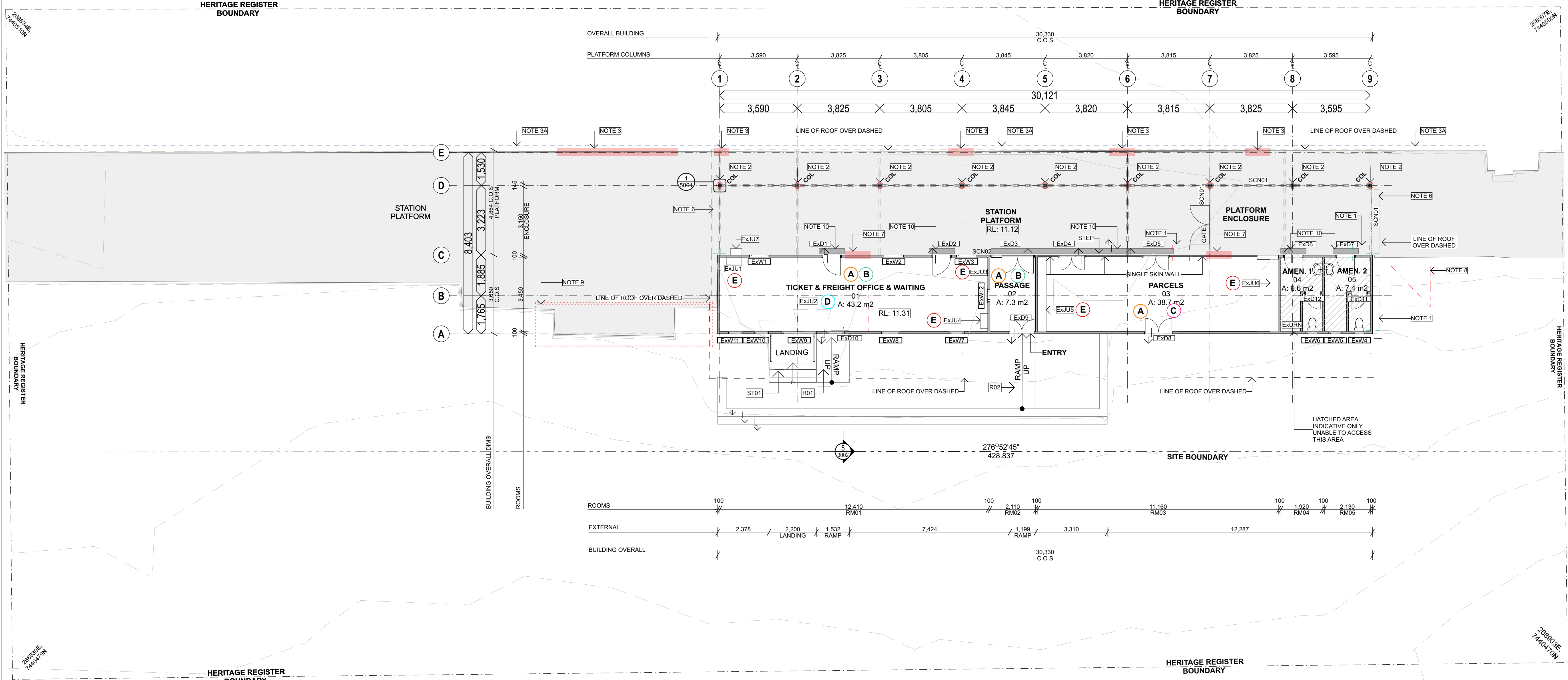
drawing number 1001 scale AS INDICATED @A1 rev E



GROUND FL NOTES	SUBFLOOR NOTES
<p><b>DEMOLITION AND RESTORATION NOTES:</b></p> <p><b>NOTE 1:</b> ROTTING TIMBER CLADDING AT LINE OF BUILDING REPLACE LIKE-FOR-LIKE. ENSURE WEATHERBOARDS ARE SUFFICIENTLY TOOTHED IN TO PROVIDE ADEQUATE RESTRAINT. ANCILLARY STUDS OR BATTENS MAY BE INTRODUCED IF REQUIRED WHERE WALL IS NOT SINGLE SKIN IN ACCORDANCE WITH DES APPROVAL.</p> <p><b>NOTE 1A:</b> REINSTATE EDGE STRIP AT LINE OF BUILDING.</p> <p><b>NOTE 2:</b> TEMPORARILY PROP + SUPPORT AWNING. ROOF DEMOLISH EFFECTED DAMAGED / DEGRADED CONCRETE FOOTINGS. REMOVE TO THE EXTENT NECESSARY. ROTTEN TIMBER POSTS. PREPARE FOR NEW CONSTRUCTION. IMPLEMENT DETAIL D.01. REFER TO ENGINEER DRAWINGS FOR DETAILS.</p> <p><b>NOTE 3:</b> IDENTIFY EXTENT OF ROTTEN TIMBER CAPPING TO PLATFORM EDGE + CAREFULLY DEMOLISH. REPLACE WITH LIKE FOR LIKE TO EXTENT OF HERITAGE BOUNDARY.</p> <p><b>NOTE 3A:</b> IDENTIFY EXTENT OF DAMAGED CONCRETE WALLS TO PLATFORM RETAINING WALL. REPAIR / REPLACE IN ACCORDANCE WITH ENGINEERS DRAWINGS.</p> <p><b>NOTE 4:</b> WINDOWS: REPLACE BROKEN GLASS AND ASSESS EXTENT OF DAMAGE TO FRAME. REPLACE WHERE NECESSARY. REFER SPECIFICATION FOR DETAILS. REFER ELEVATIONS.</p> <p><b>WINDOW REPAIR SUBJECT TO FUNDING.</b></p> <p><b>NOTE 5:</b> REPLACE AND REPAIR DAMAGED DOORS. REFER SPECIFICATION FOR DETAILS. REFER ELEVATIONS.</p> <p><b>DOOR REPAIR SUBJECT TO FUNDING.</b></p> <p><b>NOTE 6:</b> REPAIR OR REPLACE METAL WALL CLADDING WHERE NECESSARY WITH LIKE FOR LIKE. REFER TO SPECIFICATION FOR DETAILS. PAINT TO MATCH EXISTING.</p> <p><b>NOTE 7:</b> EDGE STRIP MISSING OR ROTTING.</p> <p><b>NOTE 8:</b> EXISTING WATER TANK STAND TO BE DEMOLISHED. RAIN WATER TO BE RETICULATED UNDER FLOOR TO DISCHARGE AT EXISTING STORMWATER POINT UNDER BUILDING REFER ENGINEERS DRAWINGS FOR DETAIL - CONTRACTOR TO CERTIFY WORKS.</p> <p><b>NOTE 9:</b> EXISTING EXTERNAL BLOCK WALL - OUT OF SCOPE.</p> <p><b>NOTE 10:</b> REINSTATE EXIST TIMBER TREAD IN ACCORDANCE WITH HERITAGE EXEMPTION APPROVAL QH602563 PERMIT NO: 202003-10095 EC.</p>	<p><b>DEMOLITION AND RESTORATION NOTES:</b></p> <p><b>NOTE 1:</b> REPAIR / REPLACE TIMBER WALERS TO RETAINING WALL AT LINE OF BUILDING IN ACCORDANCE WITH S.E. DETAILS AND DES REQUIREMENTS AS REQUIRED LIKE-FOR-LIKE REPLACEMENT.</p> <p><b>NOTE 1A:</b> REINSTATE EDGE STRIP AT LINE OF BUILDING.</p> <p><b>NOTE 2:</b> REPAIR CONCRETE STUMPS. REMOVE METAL BRACKET AND CLEAN/REPAIR IN ACCORDANCE WITH ENGINEERS DETAIL. REINSTATE. REPAIR/REPLACE ANT CAPS AS REQUIRED.</p> <p><b>NOTE 3:</b> REPAIR CONCRETE FOOTINGS AND STEEL POSTS IN ACCORDANCE WITH S.E. DETAILS.</p> <p><b>NOTE 4:</b> NEW RAINWATER DISCHARGE. REFER ENG. DETAIL. CONTRACTOR TO GAIN ALL APPROVALS TO ENSURE COMPLIANCE WITH LOCAL COUNCIL.</p> <p><b>NOTE 5:</b> REPLACE EXISTING STUMPS IN ACCORDANCE WITH HERITAGE EXEMPTION APPROVAL QH602563 PERMIT NO: 202003-10095 EC.</p> <p><b>INTERNAL DEMOLITION AND RESTORATION NOTES:</b></p> <p><b>TO BE READ IN CONJUNCTION WITH FABRIC ASSESSMENT REPORT AND SCOPING DOCUMENT</b></p> <p><b>A</b> NEW INTERNAL PAINT COLOURS TO ALL EXISTING PAINTED SURFACES TO MATCH ORIGINAL.</p> <p><b>B</b> CAREFULLY REMOVE VINYL FLOORING AND HARDBOARD SUBSTRATE. PUNCH EXTRUDED NAILHEADS TO 2MM BELOW SURFACE AND SAND. EXISTING HARDWOOD FLOORING TO REMAIN UNCOATED AS ORIGINAL CONDITION.</p> <p><b>C</b> PUNCH EXTRUDED NAILHEADS TO 2MM BELOW SURFACE AND SAND. EXISTING HARDWOOD FLOORING TO REMAIN UNCOATED AS ORIGINAL CONDITION.</p> <p><b>D</b> DEMOLISH EXISTING JOINERY UNIT. MAKE GOOD SURFACES AS REQUIRED.</p> <p><b>E</b> MAKE GOOD EXISTING JOINERY UNITS. IDENTIFY DAMAGE TO UNITS AND REPAIR WHERE REQUIRED.</p>



**1 Plan Subfloor**  
SCALE: 1:100



**2 Plan Ground Floor**  
SCALE: 1:100

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REV.	DETAILS	INT	DATE
E	Close Out Report Issue	JW	16.09.2020
D	Heritage Feedback Revision - Internal Works	JW	25.08.2020
C	Heritage Exemption Review - Internal Works	RE	22.05.2020

- GENERAL NOTES:**
- ANY FILL DISTURBED / REMOVED WHEN REPAIRING PLATFORM RETAINING WALL TO BE RETAINED FOR RE-USE.
  - UPON COMPLETION OF WORKS RE-COMPACT FILL TO EXTENT DISTURBED.
  - ALLOW ALL COSTS FOR ADDITIONAL GRAVEL TO 'MAKE GOOD' PLATFORM FINISH.
  - CONTRACTOR TO ENGAGE SURVEYOR - SET OUT HERITAGE BOUNDARY. PROTECT SITE TO EXTENT OF BOUNDARY.
  - CONTRACTOR TO DISCHARGE ALL NEW DP'S TO EXISTING STORMWATER UNDER THE BUILDING. RETICULATE UNDER FLOOR. CONTRACTOR TO GAIN PLUMBING APPROVALS AS REQUIRED AND CERTIFY ALL WORKS.
  - CONTRACTOR TO FLASH ALL NEW / REINSTATED ROOF PENETRATIONS.

**LEGEND**

BG	BOX GUTTER
COL	COLUMN
D#	DOOR NUMBER
EG	EAVES GUTTER
EX	EXISTING
JU##	JOINERY UNIT NUMBER
RM	ROOM
W#	WINDOW NUMBER

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client  
**DEPARTMENT OF STATE DEVELOPMENT**

project  
**YEPPON STATION BUILDING**  
3 JAMES STREET 4703 QLD

Figured dimensions take precedence over scale dimensions. Contractors must verify all dimensions on site before commencing any work or making shop drawings.

project number	201812	drawn by	AJ	checked	
drawing name	SUBFLOOR & GROUND FLOOR - PROPOSED RESTORATION	scale	AS INDICATED @A1	rev	E



**RCP NOTES**

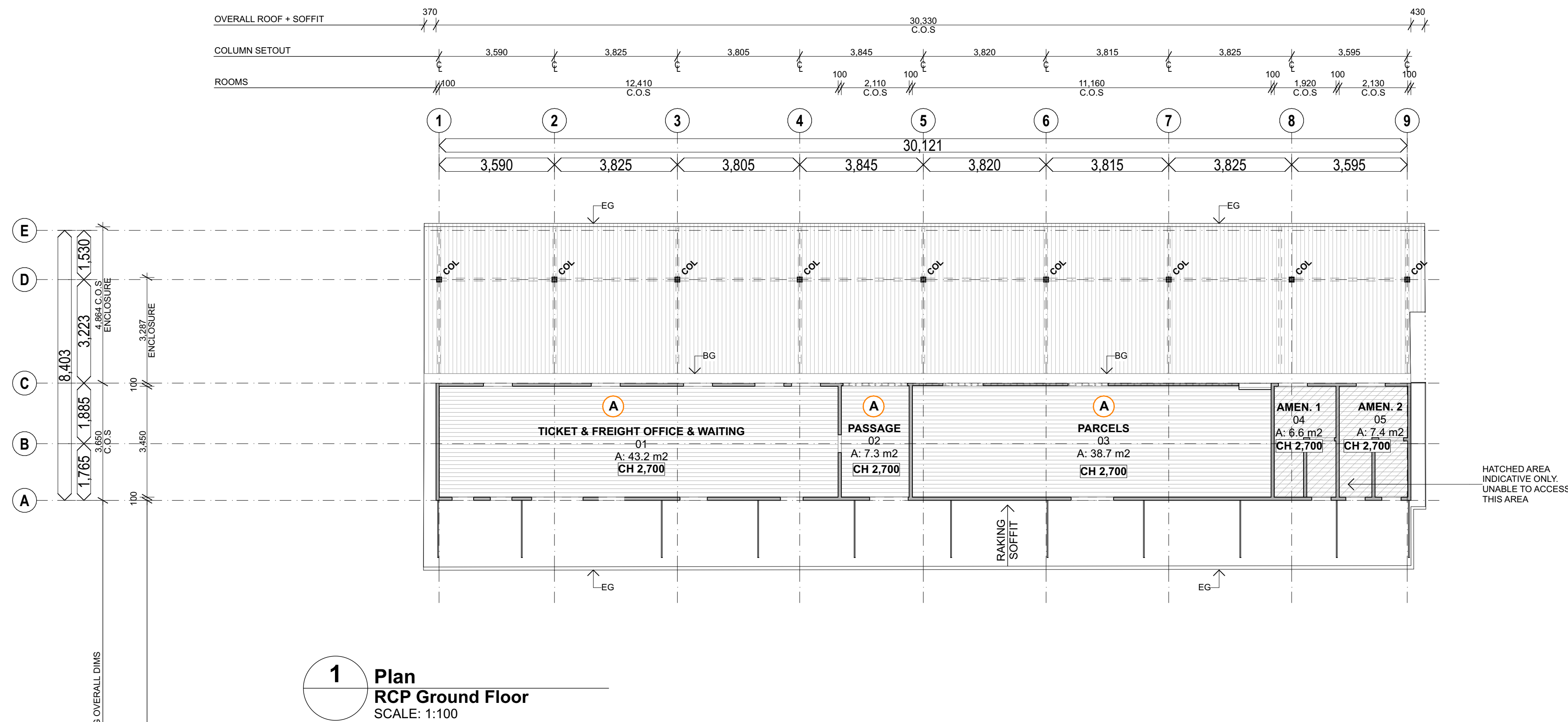
**INTERNAL DEMOLITION AND RESTORATION NOTES:**  
TO BE READ IN CONJUNCTION WITH FABRIC ASSESSMENT REPORT AND SCOPING DOCUMENT

- (A)** NEW INTERNAL PAINT COLOURS TO ALL EXISTING PAINTED SURFACES TO MATCH ORIGINAL.
- (B)** CAREFULLY REMOVE VINYL FLOORING AND HARDBOARD SUBSTRATE. PUNCH EXTRUDED NAILHEADS TO 2MM BELOW SURFACE AND SAND. EXISTING HARDWOOD FLOORING TO REMAIN UNCOATED AS ORIGINAL CONDITION.
- (C)** PUNCH EXTRUDED NAILHEADS TO 2MM BELOW SURFACE AND SAND. EXISTING HARDWOOD FLOORING TO REMAIN UNCOATED AS ORIGINAL CONDITION.
- (D)** DEMOLISH EXISTING JOINERY UNIT. MAKE GOOD SURFACES AS REQUIRED.
- (E)** MAKE GOOD EXISTING JOINERY UNITS. IDENTIFY DAMAGE TO UNITS AND REPAIR WHERE REQUIRED.

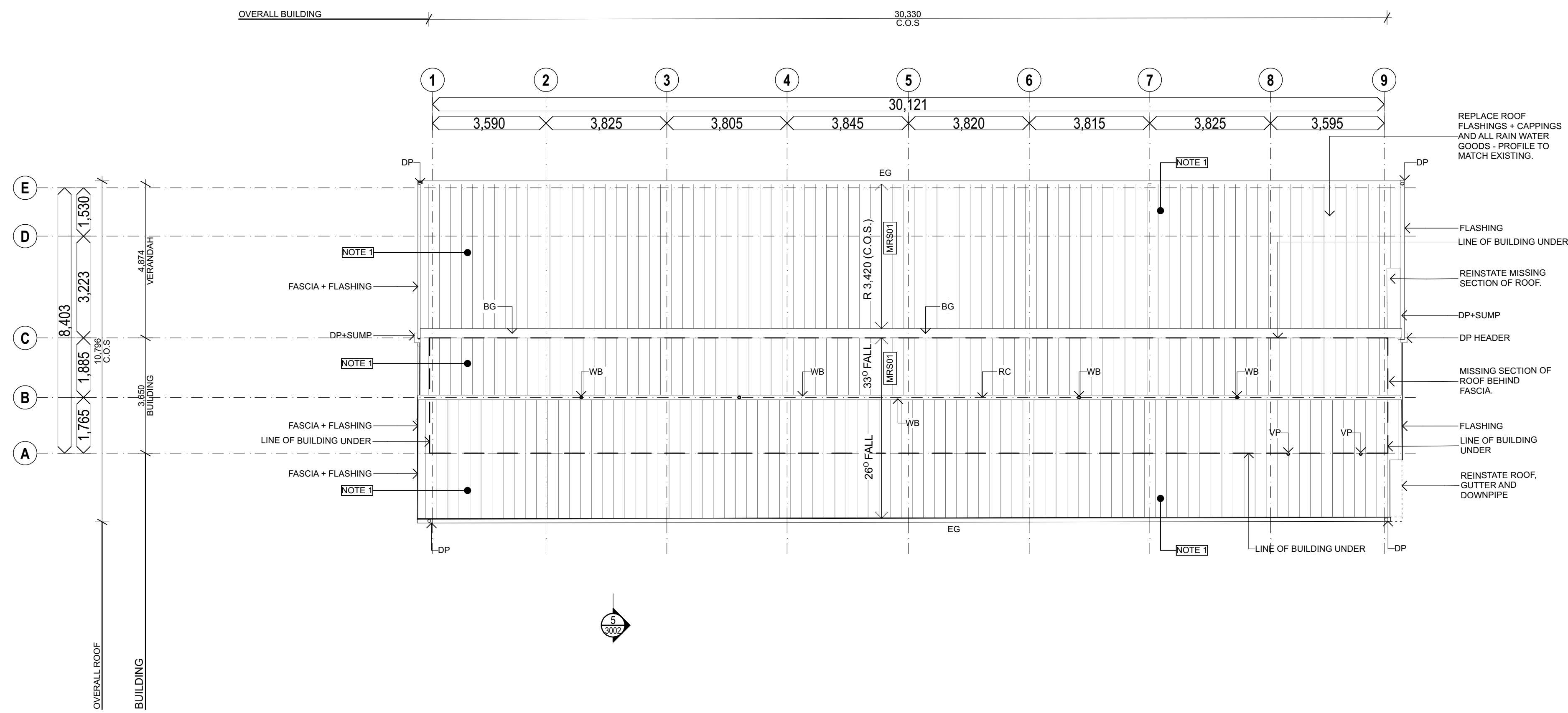
**ROOF NOTES**

**DEMOLITION AND RESTORATION NOTES:**

- NOTE 1:** REMOVE EXISTING ROOF SHEETING AND REPLACE WITH NEW STEEL ROOF SHEETING AS SCHEDULED. REFER TO ENGINEERING REPORT FOR DETAILS OF STRUCTURAL ADEQUACY OF ROOF TRUSSES. PROVIDE NEW ROOF STRUCTURE AS REQUIRED IN ACCORDANCE WITH ENGINEERS DETAILS AND EXEMPTION CERTIFICATES. REPLACE ROOF (ETC.) WITH LIKE FOR LIKE COMPONENTS. REFER SCHEDULES AND SPECIFICATION FOR FURTHER DETAILS. NEW FASCIA TO MATCH EXISTING SIZE, COLOUR AND PROFILE. CONTRACTOR TO INSPECT EXISTING ROOF VENTS & RESTORE OR REPLACE WITH LIKE FOR LIKE AS REQUIRED.
- NOTE 2:** UNDERSIDE OF NEW ROOF SHEETING.
- NOTE 3A:** EXISTING CEILING TO BE RETAINED.
- NOTE 2:** EXISTING TRUSS TO BE REINFORCED IN ACCORDANCE WITH ENGINEERS DETAIL. ALL NEW MEMBERS TO BE DATE STAMPED IN ACCORDANCE WITH DES CONDITIONS.
- NOTE 2A:** AWNING ROOF - POST STRUT. TO TRUSS TOP CHORD CONNECTION LOOSE. REINSTATE IN ACCORDANCE WITH ENGINEERS DETAIL.
- NOTE:** REPAIR / REPLACE DETERIORATED AND DISLODGED BATTENS. ADD NEW BATTENS AS REQUIRED. REFER ENGINEERS DRAWINGS FOR DETAILS. REFER TO SECTION FOR DETAILS.
- NOTE:** UPGRADE BATTENS AND RAFTER TIE DOWN AS REQUIRED. REFER ENGINEERS DRAWINGS FOR DETAILS. REFER TO SECTION FOR DETAILS.



**1 Plan RCP Ground Floor SCALE: 1:100**



**2 Plan Roof Plan SCALE: 1:100**

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REV.	DETAILS	INT	DATE
E	Close Out Report Issue	JW	16.09.2020
D	Heritage Feedback Revision- Internal Works	JW	25.06.2020
C	Heritage Exemption Review - Internal Works	RE	22.05.2020

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  - CONTRACTOR TO FLASH ALL NEW / REINSTATED ROOF PENETRATIONS.

**LEGEND**

BG	BOX GUTTER
COL	COLUMN
D#	DOOR NUMBER
EG	EAVES GUTTER
EX	EXISTING
JU##	JOINERY UNIT NUMBER
R#	ROOM
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project number	drawn by	checked
201812	SA	AJ
drawing name		N
<b>RCP &amp; ROOF PLAN - PROPOSED RESTORATION</b>		
drawing number	scale	rev
<b>2002</b>	AS INDICATED @A1	E



**DEMOLITION AND RESTORATION NOTES:**

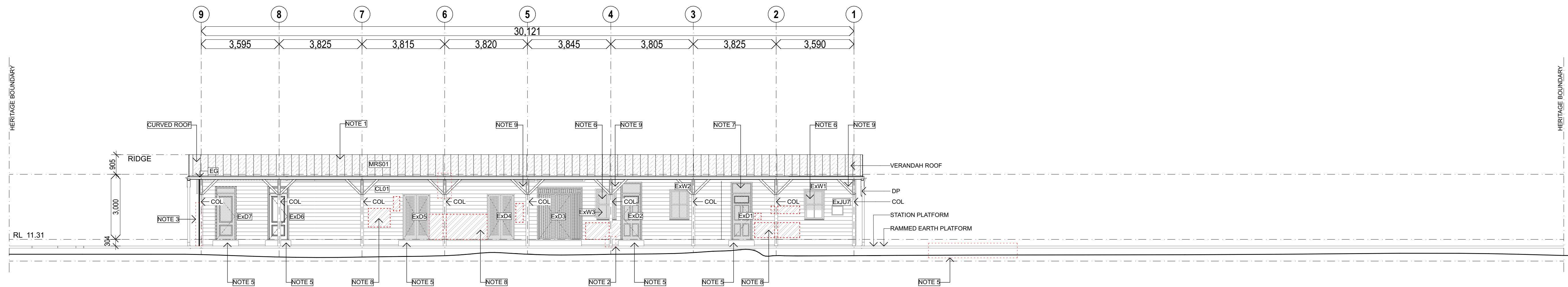
- NOTE 1:** DEMOLISH ROOF SHEETING THAT IS BEYOND REPAIR, ALL GUTTERS, DOWN PIPES, FLASHINGS + CAPPINGS AND ALL ASSOCIATED RAINWATER GOODS IN ACCORDANCE WITH **DES EXEMPTION CERTIFICATE 202003-10095 EC** REFER TO S.E. REPORT FOR DETAILS OF STRUCTURAL ADEQUACY OF ROOF TRUSSES. PROVIDE NEW ROOF STRUCTURE AS REQUIRED IN ACCORDANCE WITH S.E. DETAILS AND EXEMPTION CERTIFICATES. REPLACE ROOF (ETC.) WITH LIKE FOR LIKE COMPONENTS. REFER CONSERVATION MANAGEMENT PLAN FOR FURTHER DETAILS. NEW FASCIA TO MATCH EXISTING COLOURS + PROFILE. REPLACE EXISTING ROOF VENTS IN ACCORDANCE WITH **DES EXEMPTION CERTIFICATE 202003-10095 EC**
- NOTE 2:** TEMPORARILY PROP + SUPPORT AWNING ROOF. DEMOLISH EFFECTED DAMAGED / DEGRADED CONCRETE FOOTINGS. REMOVE TO THE EXTENT NECESSARY ROTTEN TIMBER POSTS. PREPARE FOR NEW CONSTRUCTION. IMPLEMENT DETAIL D.01. REFER TO ENGINEER DRAWINGS FOR DETAILS.
- NOTE 3:** ROTTEN TIMBER CLADDING AT LINE OF BUILDING REPLACE LIKE-FOR-LIKE - ENSURE WEATHERBOARDS ARE SUFFICIENTLY TOOTHED IN TO PROVIDE ADEQUATE RESTRAINT. ANCILLARY STUDS OR BATTENS MAY BE INTRODUCED IF REQUIRED WHERE WALL IS NOT SINGLE SKIN.
- NOTE 4:** REPAIR OR REPLACE METAL CLADDING WHERE NECESSARY WITH LIKE FOR LIKE. PAINT TO MATCH EXISTING.
- NOTE 5:** RESTORE AND REINSTATE STEP TREAD IN ACCORDANCE WITH **DES EXEMPTION CERTIFICATE 202003-10095 EC**
- NOTE 5A:** IDENTIFY EXTENT OF DAMAGED CONCRETE WALERS TO PLATFORM RETAINING WALL, REPAIR / REPLACE IN ACCORDANCE WITH ENGINEERS DRAWINGS.
- NOTE 6:** REPLACE BROKEN GLASS AND ASSESS EXTENT OF DAMAGE TO FRAME. REPLACE WHERE NECESSARY. TO MATCH EXISTING.
- NOTE 7:** REPLACE AND REPAIR DAMAGED DOORS, MATCH TO EXISTING.
- NOTE 8:** REMOVE GRAFFITI FROM EXTERNAL WALLS AND REPAINT TO MATCH EXISTING COLOUR.
- NOTE 9:** AWNING ROOF - POST STRUT TO TRUSS TOP CHORD CONNECTION LOOSE. REINSTATE IN ACCORDANCE WITH ENGINEERS DETAIL.
- NOTE 10:** ADDITIONAL ROOF BATTENS AS REQUIRED TO ENGINEERS DETAIL.
- NOTE 11:** ADDITIONAL MEMBERS TO EXISTING TRUSS TO ENGINEERS DETAIL.
- NOTE 12:** TIE DOWN TRUSSES IN ACCORDANCE WITH ENGINEERS DETAIL.
- NOTE 13:** NEW RAINWATER DISCHARGE, REFER ENG. DETAIL. CONTRACTOR TO GAIN ALL APPROVALS TO ENSURE COMPLIANCE WITH LOCAL COUNCIL.
- NOTE 14:** REPLACE EXIST LOUVRES IN ACCORDANCE WITH **DES EXEMPTION CERTIFICATE 202008-10536 EC**

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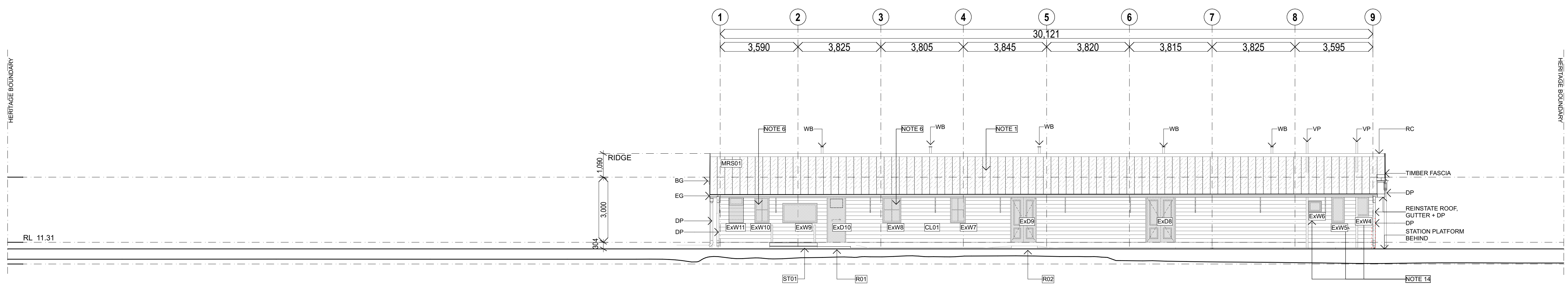
REV.	DETAILS	INT	DATE
E	Close Out Report Issue	JW	16.09.2020
T01	FOR TENDER	LB	25.10.2019
B	Heritage Exemption - Update	SA	24.09.18
A	Heritage Exemption	CT	03.08.2018

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  - CONTRACTOR TO FLASH ALL NEW / REINSTATED ROOF PENETRATIONS.
- CONDITION LEGEND**
- GRAFFITI** CAREFULLY REMOVE THEN REPAINT TO MATCH EXISTING COLOUR.
  - BOARDED UP OPENING** CAREFULLY REMOVE COVER AND ASSESS CONDITION OF OPENING. REPAIR FRAME, GLASS AND SURROUNDING FABRIC AS REQUIRED. REPAINT TO MATCH EXISTING COLOUR.
  - SEVERE TIMBER DAMAGE** CAREFULLY REMOVE AND REPLACE DAMAGED TIMBER. REPAINT TO MATCH EXISTING COLOUR.
  - SEVERE PAINT DAMAGE** CAREFULLY REMOVE DAMAGED PAINT AND REPAINT TO MATCH EXISTING COLOUR.

- LEGEND**
- BG** BOX GUTTER
  - COL** COLUMN
  - CL##** CLADDING TYPE
  - D#** DOOR AS SPECIFIED NUMBER
  - EG** EAVES GUTTER
  - Ex** EXISTING
  - FL** FLASHING
  - JU##** JOINERY UNIT
  - MRS##** METAL ROOF SHEETING
  - MWS##** METAL WALL SHEETING
  - R##** RAMB
  - RC** RIDGE CAPPING
  - RM** ROOM
  - SCN##** SCREEN TYPE
  - ST##** STAIR
  - T-S** TIMBER STRUT
  - VP** VAPOUR PIPE
  - WB** ROOF VENT
  - W#** WINDOW AS SPECIFIED NUMBER



**1 Elevation North**  
SCALE: 1:100



**2 Elevation South**  
SCALE: 1:100

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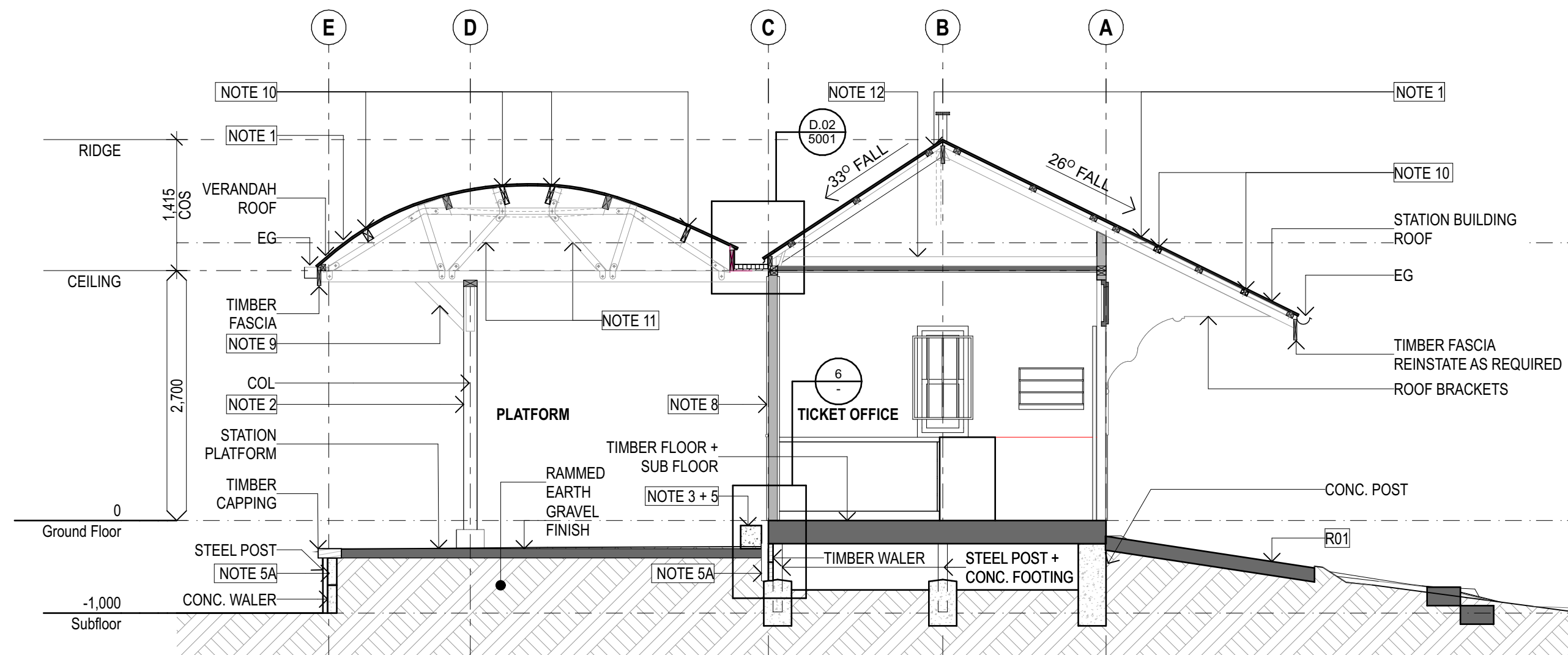
project number	201812	drawn by	SA	checked	AJ
drawing name	ELEVATIONS				N

drawing number	3001	scale	AS INDICATED @A1	rev	E
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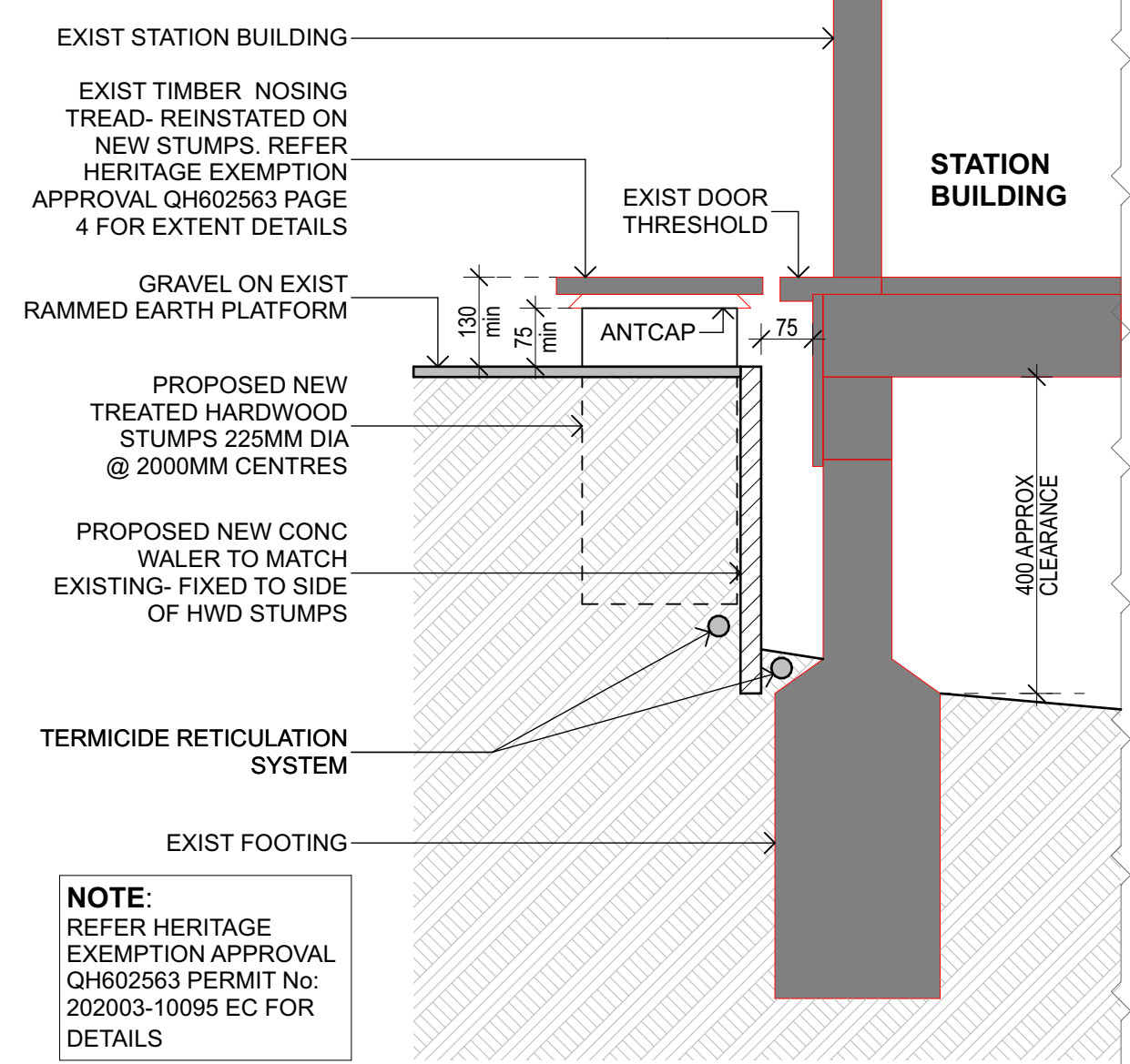


**DEMOLITION AND RESTORATION NOTES:**

- NOTE 1:** DEMOLISH ROOF SHEETING THAT IS BEYOND REPAIR. ALL GUTTERS, DOWN PIPES, FLASHINGS + CAPPINGS AND ALL ASSOCIATED RAINWATER GOODS IN ACCORDANCE WITH **DES EXEMPTION CERTIFICATE 202003-10095 EC** REFER TO S.E. REPORT FOR DETAILS OF STRUCTURAL ADEQUACY OF ROOF TRUSSES. PROVIDE NEW ROOF STRUCTURE AS REQUIRED IN ACCORDANCE WITH S.E. DETAILS AND EXEMPTION CERTIFICATES. REPLACE ROOF (ETC.) WITH LIKE FOR LIKE COMPONENTS. REFER CONSERVATION MANAGEMENT PLAN FOR FURTHER DETAILS. NEW FASCIA TO MATCH EXISTING COLOURS + PROFILE. REPLACE EXISTING ROOF VENTS IN ACCORDANCE WITH **DES EXEMPTION CERTIFICATE 202003-10095 EC**
- NOTE 2:** TEMPORARILY PROP + SUPPORT AWNING ROOF. DEMOLISH EFFECTED DAMAGED / DEGRADED CONCRETE FOOTINGS. REMOVE TO THE EXTENT NECESSARY ROTTEN TIMBER POSTS. PREPARE FOR NEW CONSTRUCTION. IMPLEMENT DETAIL D.01. REFER TO ENGINEER DRAWINGS FOR DETAILS.
- NOTE 3:** ROTTEN TIMBER CLADDING AT LINE OF BUILDING REPLACE LIKE-FOR-LIKE - ENSURE WEATHERBOARDS ARE SUFFICIENTLY TOOTHED IN TO PROVIDE ADEQUATE RESTRAINT. ANCILLARY STUDS OR BATTENS MAY BE INTRODUCED IF REQUIRED WHERE WALL IS NOT SINGLE SKIN.
- NOTE 4:** REPAIR OR REPLACE METAL CLADDING WHERE NECESSARY WITH LIKE FOR LIKE. PAINT TO MATCH EXISTING.
- NOTE 5:** RESTORE AND REINSTATE STEP TREAD IN ACCORDANCE WITH **DES EXEMPTION CERTIFICATE 202003-10095 EC**
- NOTE 5A:** IDENTIFY EXTENT OF DAMAGED CONCRETE WALERS TO PLATFORM RETAINING WALL. REPAIR / REPLACE IN ACCORDANCE WITH ENGINEERS DRAWINGS.
- NOTE 6:** REPLACE BROKEN GLASS AND ASSESS EXTENT OF DAMAGE TO FRAME. REPLACE WHERE NECESSARY. TO MATCH EXISTING.
- NOTE 7:** REPLACE AND REPAIR DAMAGED DOORS, MATCH TO EXISTING.
- NOTE 8:** REMOVE GRAFFITI FROM EXTERNAL WALLS AND REPAINT TO MATCH EXISTING COLOUR.
- NOTE 9:** AWNING ROOF - POST STRUT TO TRUSS TOP CHORD CONNECTION LOOSE. REINSTATE IN ACCORDANCE WITH ENGINEERS DETAIL.
- NOTE 10:** ADDITIONAL ROOF BATTENS AS REQUIRED TO ENGINEERS DETAIL.
- NOTE 11:** ADDITIONAL MEMBERS TO EXISTING TRUSS TO ENGINEERS DETAIL.
- NOTE 12:** TIE DOWN TRUSSES IN ACCORDANCE WITH ENGINEERS DETAIL.
- NOTE 13:** NEW RAINWATER DISCHARGE, REFER ENG. DETAIL. CONTRACTOR TO GAIN ALL APPROVALS TO ENSURE COMPLIANCE WITH LOCAL COUNCIL.
- NOTE 14:** REPLACE EXIST LOUVRES IN ACCORDANCE WITH **DES EXEMPTION CERTIFICATE 202008-10536 EC**



**5 Section Section AA**  
SCALE: 1:50



**6 Detail Section DETAILS**  
SCALE:

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REV.	DETAILS	INT	DATE
	E Close Out Report Issue	JW	16.09.2020
T04	Heritage Exemption Approval- Roof and Stumps Replacement	JW	07.04.2020
T03	Heritage RFI- stump detail approval	JW	31.03.2020
T02	Heritage RFI- roofing and stump replacement	JW	12.03.2020

- GENERAL NOTES:**
- ANY FILL DISTURBED / REMOVED WHEN REPAIRING PLATFORM RETAINING WALL TO BE RETAINED FOR RE-USE.
  - UPON COMPLETION OF WORKS RE-COMPACT FILL TO EXTENT DISTURBED.
  - ALLOW ALL COSTS FOR ADDITIONAL GRAVEL TO 'MAKE GOOD' PLATFORM FINISH.
  - CONTRACTOR TO ENGAGE SURVEYOR - SET OUT HERITAGE BOUNDARY. PROTECT SITE TO EXTENT OF BOUNDARY.
  - CONTRACTOR TO DISCHARGE ALL NEW D.P.'S TO EXISTING STORMWATER UNDER THE BUILDING. RETICULATE UNDER FLOOR. CONTRACTOR TO GAIN PLUMBING APPROVALS AS REQUIRED AND CERTIFY ALL WORKS.
  - CONTRACTOR TO FLASH ALL NEW / REINSTATED ROOF PENETRATIONS.

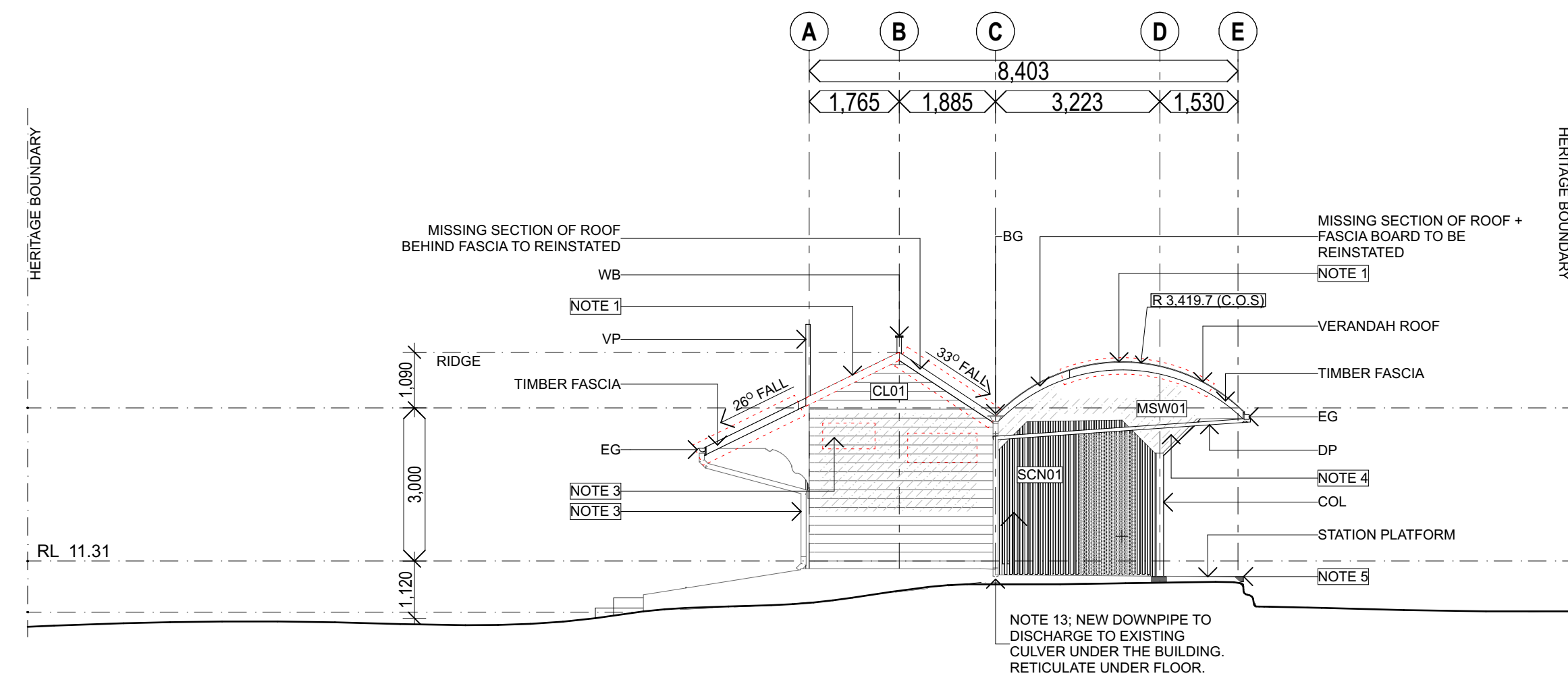
**CONDITION LEGEND**

	<b>GRAFFITI</b>	CAREFULLY REMOVE THEN REPAINT TO MATCH EXISTING COLOUR.
	<b>BOARDED UP OPENING</b>	CAREFULLY REMOVE COVER AND ASSESS CONDITION OF OPENING. REPAIR FRAME, GLASS AND SURROUNDING FABRIC AS REQUIRED. REPAINT TO MATCH EXISTING COLOUR.
	<b>SEVERE TIMBER DAMAGE</b>	CAREFULLY REMOVE AND REPLACE DAMAGED TIMBER. REPAINT TO MATCH EXISTING COLOUR.
	<b>SEVERE PAINT DAMAGE</b>	CAREFULLY REMOVE DAMAGED PAINT AND REPAINT TO MATCH EXISTING COLOUR.

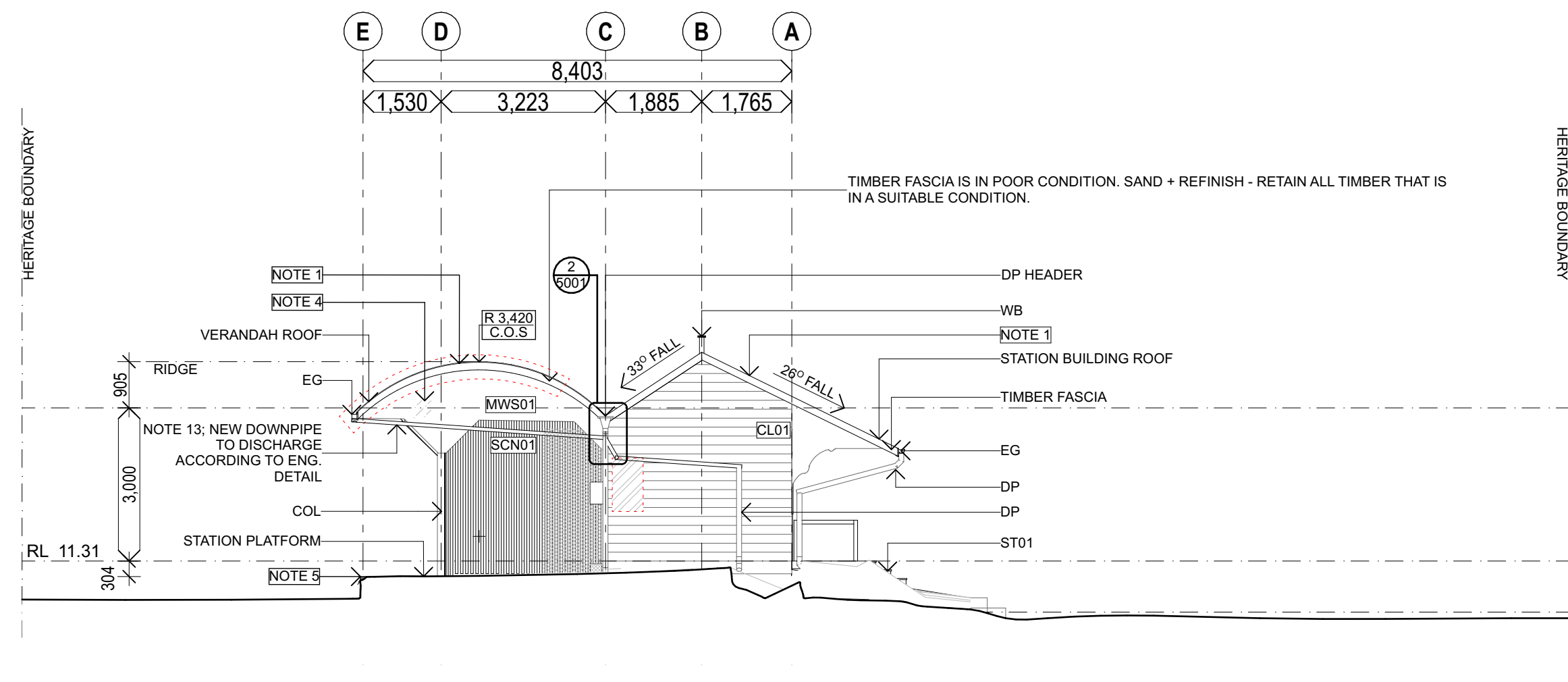
**LEGEND**

<b>BG</b>	BOX GUTTER
<b>COL</b>	COLUMN
<b>CL##</b>	CLADDING TYPE
<b>D#</b>	DOOR AS SPECIFIED
<b>#</b>	NUMBER
<b>EG</b>	EAVES GUTTER
<b>Ex</b>	EXISTING
<b>FL</b>	FLASHING
<b>JU##</b>	JOINERY UNIT
<b>MRS##</b>	METAL ROOF SHEETING
<b>MWS##</b>	METAL WALL SHEETING
<b>R##</b>	RAMP
<b>RC</b>	RIDGE CAPPING
<b>RM</b>	ROOM
<b>SCN##</b>	SCREEN TYPE
<b>ST##</b>	STAIR
<b>T-S</b>	TIMBER STRUT
<b>VP</b>	VAPOUR PIPE
<b>WB</b>	ROOF VENT
<b>W#</b>	WINDOW AS SPECIFIED
<b>#</b>	NUMBER

- GENERAL NOTES**
1. Confirm details of setbacks, levels, setbacks and critical dimensions on site prior to and during the works. Notify architect of any discrepancies discovered before proceeding.
  2. All construction to comply with the building code of Australia and applicable Australian standards.
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**3 Elevation East**  
SCALE: 1:100



**4 Elevation West**  
SCALE: 1:100

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client  
**DEPARTMENT OF STATE DEVELOPMENT**

project  
**YEPPOON STATION BUILDING**  
3 JAMES STREET 4703 QLD

Figured dimensions take precedence over scale dimensions. Contractors must verify all dimensions on site before commencing any work or making shop drawings.

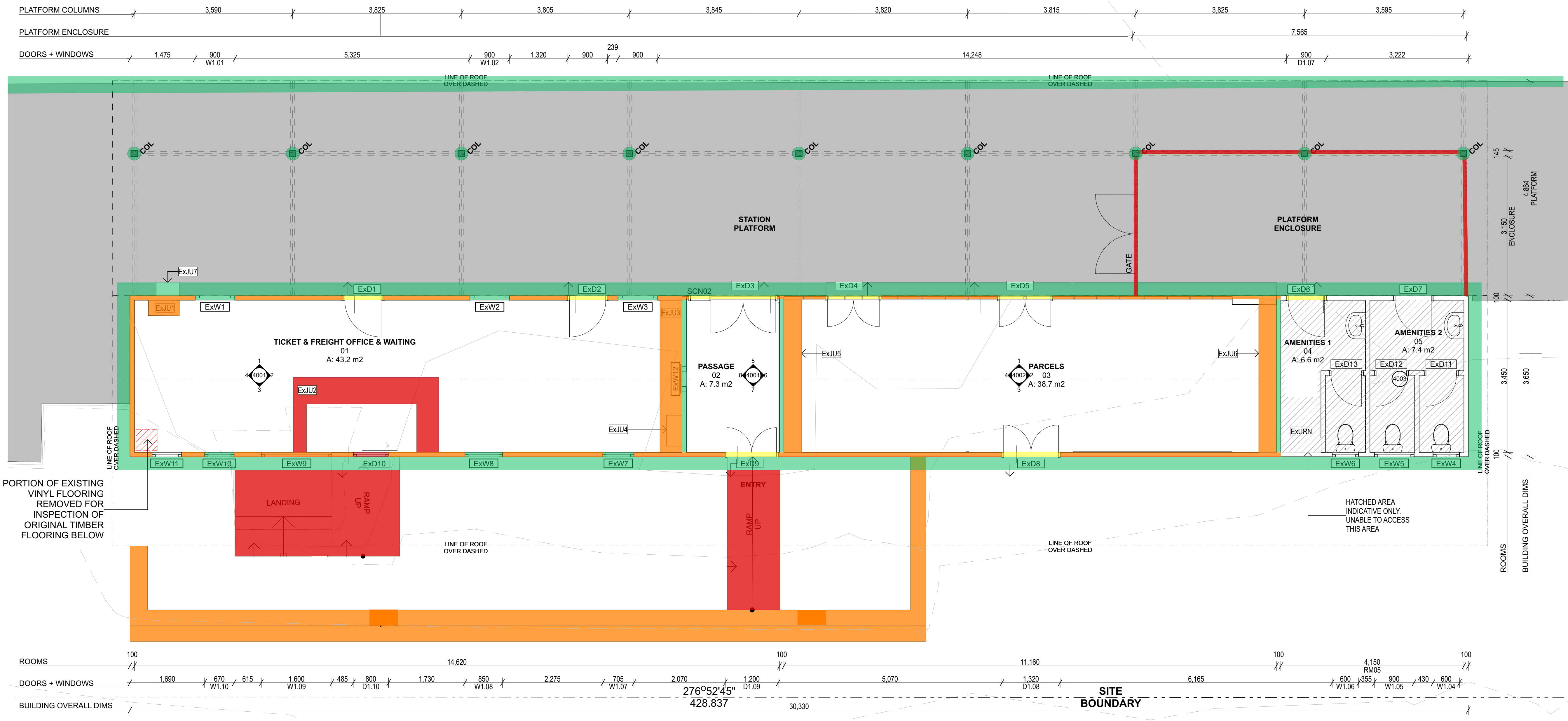
project number	201812	drawn by	SA	checked	AJ
drawing name	ELEVATIONS				N

drawing number	3002	scale	AS INDICATED @A1	rev	E
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REV.	DETAILS	INT	DATE
E	Close Out Report Issue	JW	16.09.2020
D	Heritage Feedback Revision- Internal Works	JW	25.06.2020
C	Heritage Exemption Review - Internal Works	RE	22.05.2020



**Significance Code:**

- Exceptional significance
- Considerable significance
- Some significance
- Intrusive

- GENERAL NOTES**
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 3 JAMES STREET 4703 QLD

Figured dimensions take precedence over scale dimensions. Contractors must verify all dimensions on site before commencing any work or making shop drawings.

project number 201812 drawing name FABRIC ASSESSMENT: SIGNIFICANT ELEMENTS REFERENCE PLAN drawn by SA checked by AJ N

drawing number 4000 scale AS INDICATED @A1 rev E

**1 Plan**  
**Ground Floor**  
 SCALE: 1:50



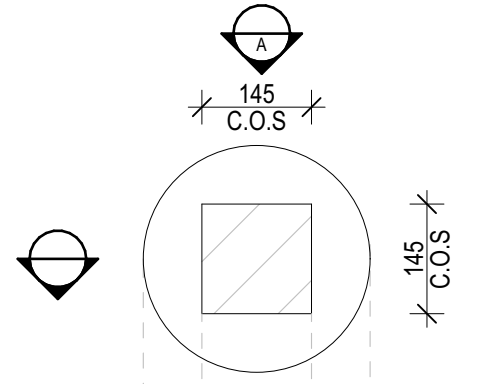
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REV.	DETAILS	INT	DATE
E	Close Out Report Issue	JW	16.09.2020
T03	Revised roofing for Heritage Exemption	JW	27.02.2020
T02	Revised Renovation Schedule	JW	23.01.2020
T01	FOR TENDER	LB	25.10.2019

- GENERAL NOTES:**
- ANY FILL DISTURBED / REMOVED WHEN REPAIRING PLATFORM RETAINING WALL TO BE RETAINED FOR RE-USE.
  - UPON COMPLETION OF WORKS RE-COMPACT FILL TO EXTENT DISTURBED.
  - ALLOW ALL COSTS FOR ADDITIONAL GRAVEL TO 'MAKE GOOD' PLATFORM FINISH.
  - CONTRACTOR TO ENGAGE SURVEYOR - SET OUT HERITAGE BOUNDARY. PROTECT SITE TO EXTENT OF BOUNDARY.
  - CONTRACTOR TO DISCHARGE ALL NEW DP'S TO EXISTING STORMWATER UNDER THE BUILDING. RETICULATE UNDER FLOOR. CONTRACTOR TO GAIN PLUMBING APPROVALS AS REQUIRED AND CERTIFY ALL WORKS.
  - CONTRACTOR TO FLASH ALL NEW / REINSTATED ROOF PENETRATIONS.

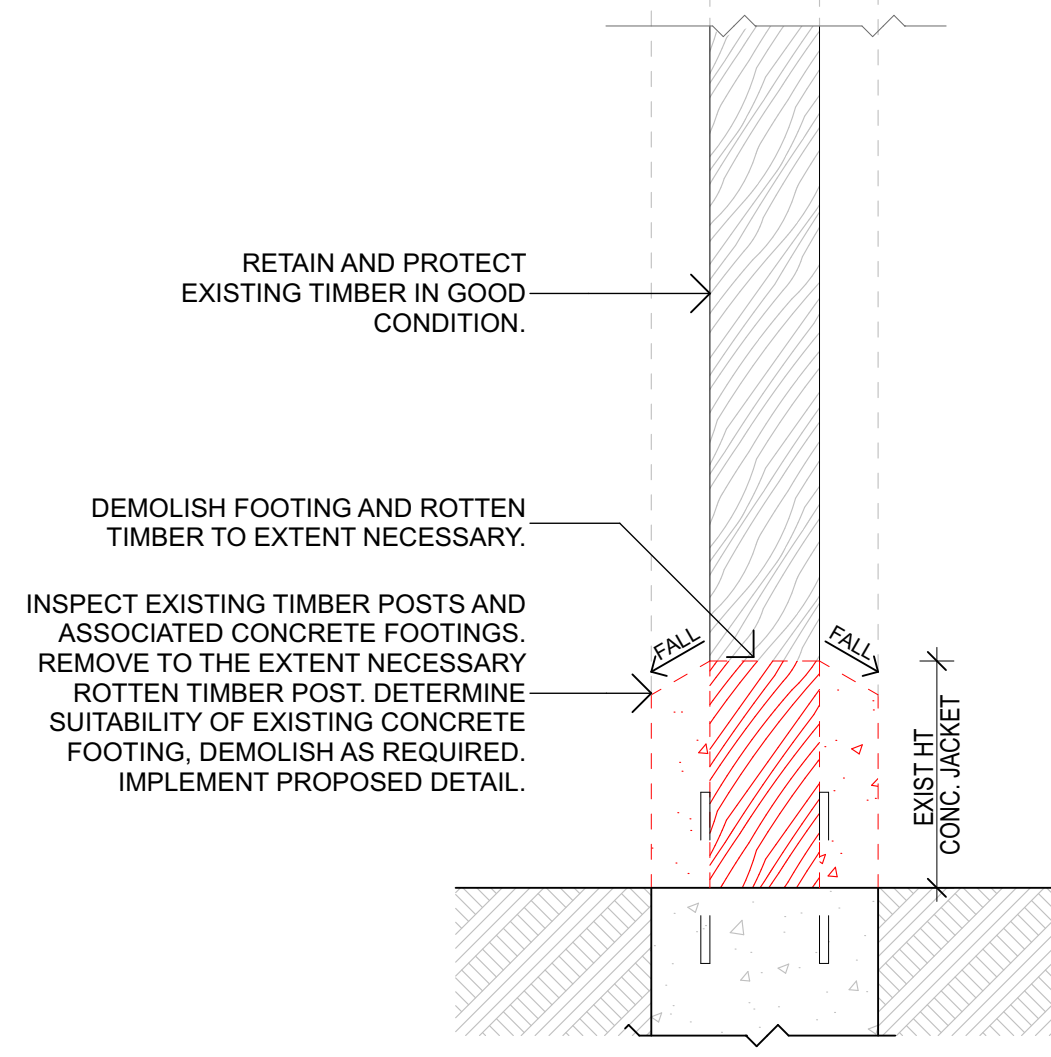
**LEGEND**

BG	BOX GUTTER
COL	COLUMN
CL##	CLADDING TYPE
D#	DOOR AS SPECIFIED NUMBER
EG	EAVES GUTTER
EX	EXISTING
FL	FLASHING
JU##	JOINERY UNIT
MRS##	METAL ROOF SHEETING
MWS##	METAL WALL SHEETING
R#	RAMP
RC	RIDGE CAPPING
RM	ROOM
SCN##	SCREEN TYPE
ST#	STAIR
T-S	TIMBER STRUT
VP	VAPOUR PIPE
WB	ROOF VENT
W#	WINDOW AS SPECIFIED NUMBER

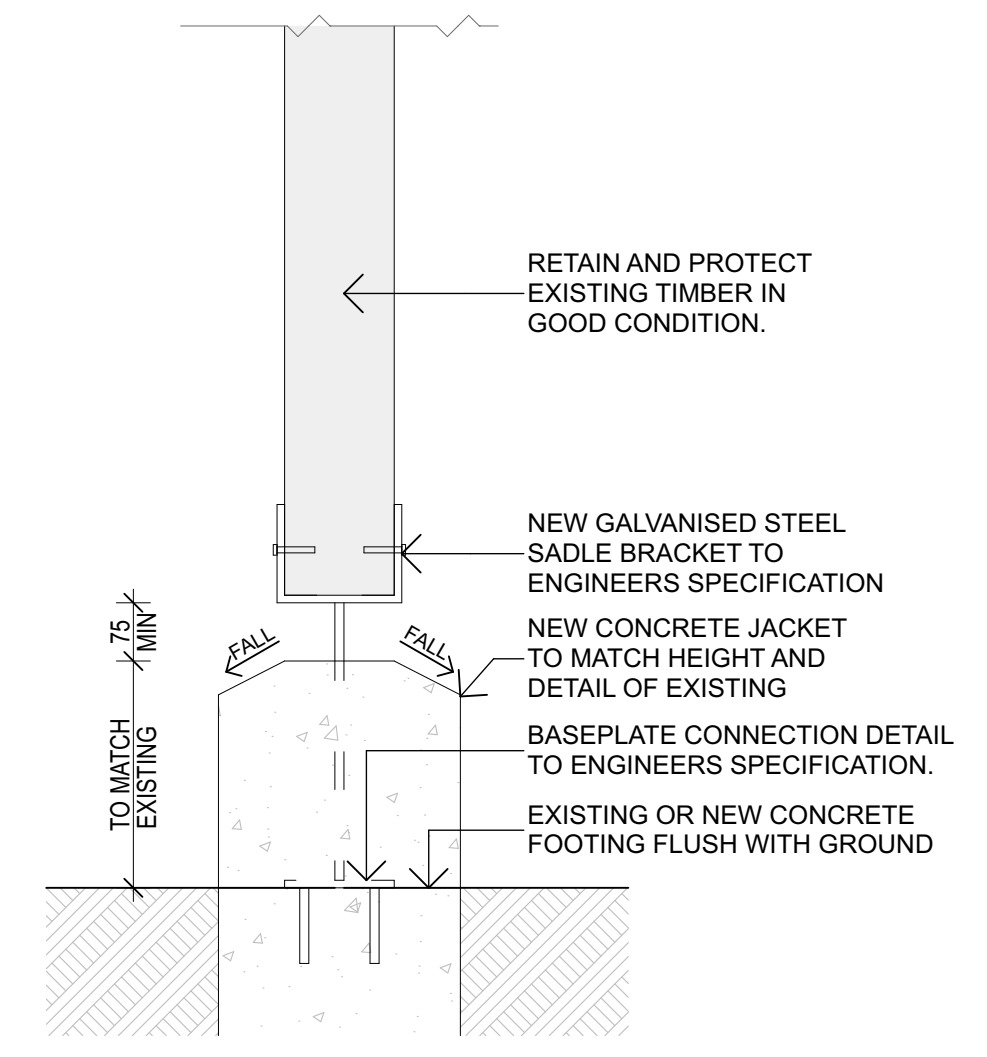


**NOTE:**  
 CONTRACTOR TO ENSURE STRUCTURAL ADEQUACY OF ALL STRUCTURAL ITEMS & FIXINGS.

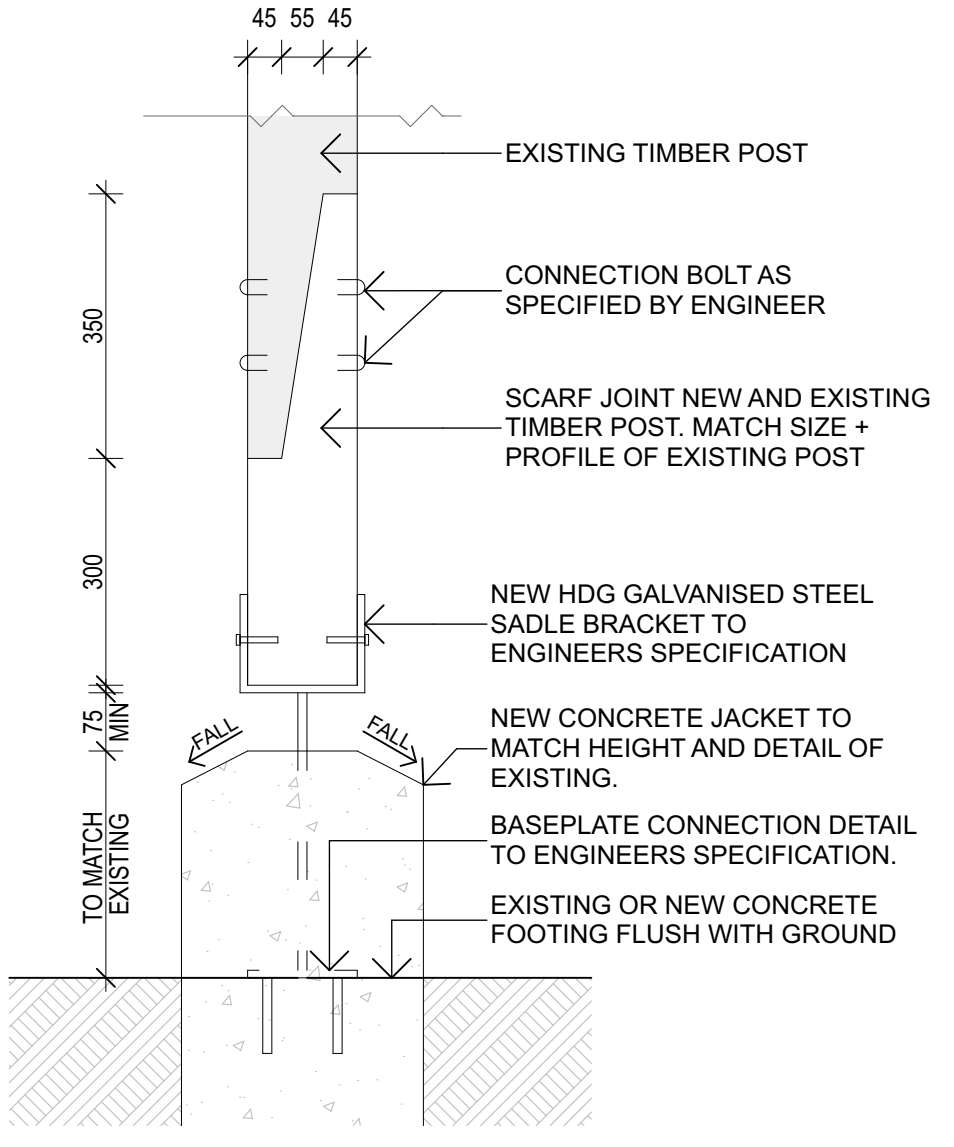
PLAN - DEMOLITION



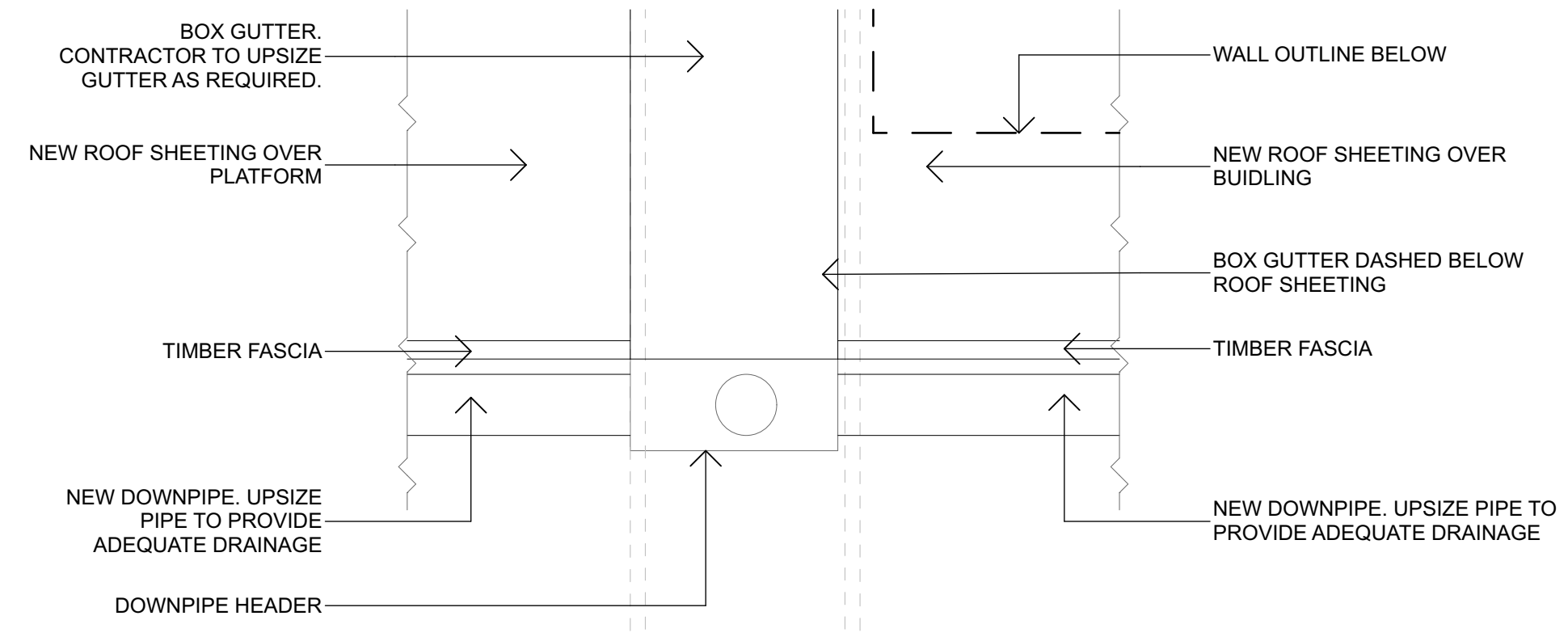
SECTION - DEMOLITION



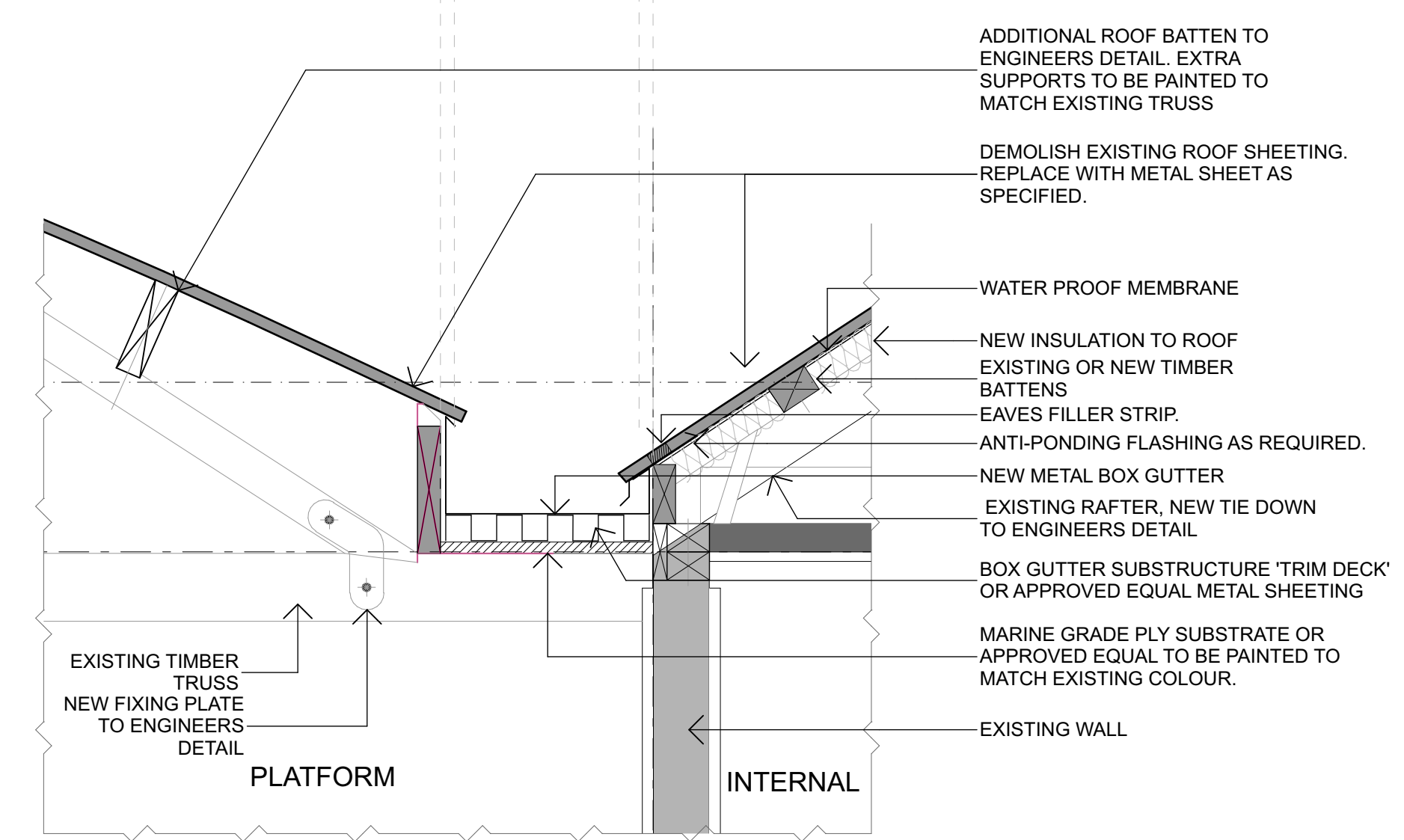
ELEVATION A  
 OPTION 1 PROPOSED



ELEVATION A  
 OPTION 2 PROPOSED  
 (EXTENSIVE ROT)



DETAIL PLAN



DETAIL SECTION

**NOTE:** CONTRACTOR TO CONNECT ALL DOWNPIPES TO A LEGAL POINT OF DISCHARGE IF NOT ALREADY CONNECTED. CONTRACTOR TO PROVIDE NEW DOWNPIPES IN PLACE OF EXISTING AS REQUIRED, UPSIZE DOWNPIPES TO CATER FOR ANTICIPATED RAINFALL IN THE AREA, DO NOT ADD ADDITIONAL OUTLET POINTS.

- GENERAL NOTES**
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 3 JAMES STREET 4703 QLD

Figured dimensions take precedence over scale dimensions. Contractors must verify all dimensions on site before commencing any work or making shop drawings.

project number	201812	drawn by	SA	checked	AJ
drawing name	DETAILS				N

drawing number	5001	scale	AS INDICATED @A1	rev	E
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**1 Detail Plan**  
**D.01 TYPICAL PLATFORM POST DETAIL**  
 SCALE: 1:10

RENOVATION SCHEDULE			
Refer 'Paint and Colour Assessment Report' Rev 02 12.12.2019 Colour Scheme A			
All colours and finishes to conform with approved Department of Environment and Science, Cultural Heritage Exemption Certificate			
CODE	DESCRIPTION	MAKE/MODEL	NOTES
BG	Box Gutter	SUPPLIER: Bluescope Steel PRODUCT: metal gutter FINISH: Zincalume Unfinished	Box gutter to match existing size and profile. Contractor to confirm size meets requirements for rain catchment of roof.
EG	Eave Gutter	SUPPLIER: Bluescope Steel PRODUCT: 150 quad FINISH: Colorbond 'Deep Ocean'	150mm quad square min. Contractor to confirm sizing with sub-contractor.
CAP	Capping	SUPPLIER: Bluescope Steel PRODUCT: Flashing FINISH: Colorbond 'Deep Ocean'	Metal cappings to match existing. Barge roll capping and roll-top ridge capping.
FA	Fascia	PRODUCT: Timber Facia FINISH: Painted to match Colorbond 'Deep Ocean'	Timber fascia to match existing profile and size. Like-for-like.
MRS	Metal Roof Sheetting	SUPPLIER: Bluescope steel PRODUCT: Customorb FINISH: Colorbond 'Deep Ocean'	To replace all existing roof sheetting
MWC	Metal Wall Cladding	SUPPLIER: Bluescope steel PRODUCT: Metal Roof sheet FINISH: Galvanised Steel painted Resene 'Quarter Tea'	Patch existing wall sheet if possible in accordance with specification To match existing profile.
TWC	Timber Wall Cladding	SUPPLIER: TBC PRODUCT: Recycled timber weatherboard or Modern timber replica weatherboard FINISH: Painted Resene 'Quarter Tea'	To match existing profile.
CE	Concrete Edging		To match existing profile and size. Like-for-like. Date stamp concealed face.
TE	Timber Edging		Timber to match existing profile and size. Like-for-like. Date stamp concealed face. Ensure suitably protected from termite damage.
DP	Down Pipe	Painted to match adjacent wall	To match existing size and profile. Contractor to confirm size meets requirements for rain catchment of roof
	Platform Awning Structure	Posts up to 1800 AFFL painted Resene 'Tarawera' Posts, beams & trusses above 1800 AFFL painted Resene 'Oxygen'	
	Soffit	Painted Resene 'White'	To match existing
	Screen SCN01	Exist timber batten screen Painted Resene 'Oxygen'	

**2 Detail Section**  
**Box Gutter Detail**  
 SCALE: 1:10

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REV.	DETAILS	INT	DATE
E	Close Out Report Issue	JW	16.09.2020
T01	FOR TENDER	LB	25.10.2019

**NOTE: ALL DOORS AND WINDOWS' DIMENSIONS TO BE CONFIRMED ON SITE PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION / RESTORATION WORK.**

**DOOR & WINDOWS NOTES:**

- CONFIRM CONDITION OF ALL DOUBLE HUNG WINDOW SASHES, CHORDS AND WEIGHT MECHANISMS.
- ANY REFURBISHMENT TO BE UNDERTAKEN BY PERSONS WITH MINIMUM 5 YEARS PRIOR EXPERIENCE.
- ANY HARDWARE REPLACE TO MATCH EXISTING. SOURCE HERITAGE FURNITURE IF POSSIBLE.

**DOOR LEGEND**

Element ID	ExD1	ExD2	ExD3	ExD4	ExD5	ExD6	ExD7	ExD8	ExD9	ExD10	ExD11	ExD12
SYSTEM	Hinged Swing, Timber Frame	Hinged Swing, Timber Frame	Hinged Swing, Timber Frame	Hinged Swing, Timber Frame	Hinged Swing, Timber Frame	Hinged Swing, Timber Frame	Hinged Swing, Timber Frame	Hinged Swing, Timber Frame	Hinged Swing, Timber Frame	Sliding door, Timber Frame	Hinged Swing, Timber Frame	Hinged Swing, Timber Frame
CONDITION	Severely damaged panes and frame	Damaged: scratches and stains	Requires repainting	Requires repainting	Damaged: replacement of slats	Unknown	Unknown	Requires repainting	Lightly damaged: scratches and stains	Requires repainting	Unknown	Unknown

**1 Elevation DOOR LEGEND**

**WINDOW LEGEND**

Element ID	ExW1	ExW2	ExW3	ExW4	ExW5	ExW6	ExW7	ExW8	ExW9	ExW10	ExW11	ExW12	ExW13
SYSTEM	Single Sash, Timber Frame	Single Sash, Timber Frame	Single Sash, Timber Frame	Louvres	Louvres	Louvres	Casement, Timber Frame	Casement, Timber Frame	Unknown	Casement, Timber Frame	Unknown	Single Sash, Timber Frame	Fixed Glazing Transom, Timber Frame
CONDITION	Broken Glass and peeled off paint	Paint Peeling	Broken Glass and peeled off paint	Broken glass, Deteriorated louvre gallery	Broken glass, Deteriorated louvre gallery	Broken glass, Deteriorated louvre gallery	Paint Peeling	Broken Glass and peeled off paint	Unknown	Broken Glass and peeled off paint	Unknown	Paint Peeling	Paint Peeling

**2 Elevation WINDOW LEGEND**

**NOTE: REFER TO SPECIFICATION FOR DETAILS ON REFURBISHMENT METHODOLOGIES.**

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project  
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 3 JAMES STREET 4703 QLD

Figured dimensions take precedence over scale dimensions.  
 Contractors must verify all dimensions on site before commencing any work or making shop drawings.

project number 201812 drawn by SA checked AJ  
 drawing name DOOR & WINDOW SCHEDULE

drawing number 6001 scale AS INDICATED @A1 rev E



**APPENDIX C**  
**The Station - Images of Building and Surrounds**





















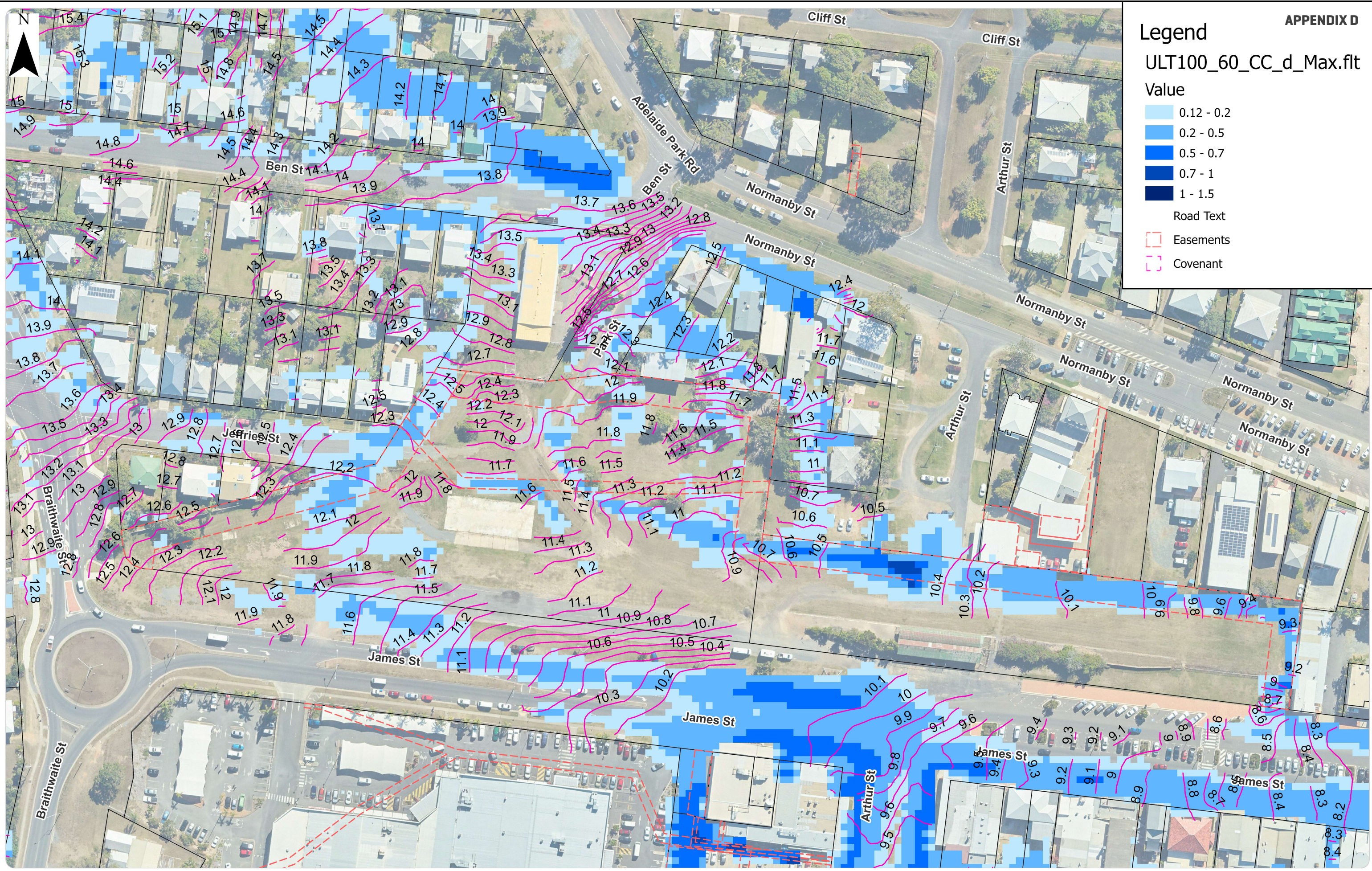
Legend

ULT100\_60\_CC\_d\_Max.ft

Value

- 0.12 - 0.2
- 0.2 - 0.5
- 0.5 - 0.7
- 0.7 - 1
- 1 - 1.5

- Road Text
- Easements
- Covenant



# 1% AEP - Existing, WaterSurfaceLevel mAHD

**Flooding extents are indicative only and can change depending on local conditions at the time of the event.**

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Version 1 - June 2022